SILVER LANE PLAZA DEMOLITION

794-810 & 832-848 SILVER LANE - PHASE 2 EAST HARTFORD CONNECTICUT 06118

CWA PROJECT NO: 2315





ISSUED FOR BIDDING 7/25/24



OWNER

Hartford CT 06103

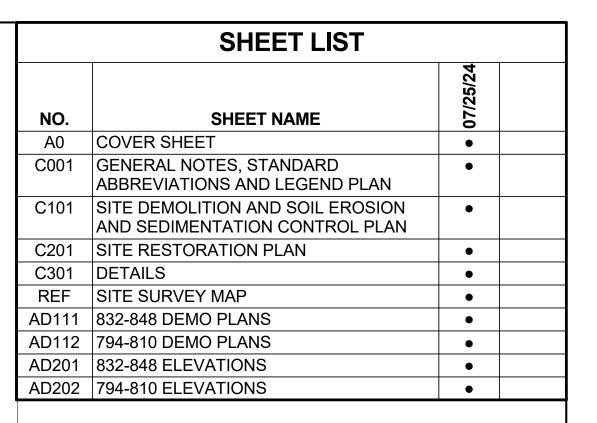
ARCHITECT

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CIVIL ENGINEER

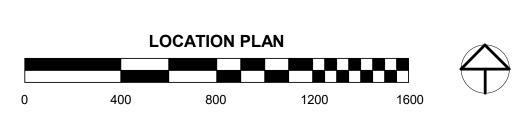


213 Court Street, Suite 1100 Middletown CT 06457









GENERAL NOTES

- 1. REFERENCE IS MADE TO SURVEY ENTITLED "BOUNDARY SURVEY" PREPARED FOR LEON CHEN #815-850 SILVER LANE EAST HARTFORD, CONNECTICUT BY RUSSO SURVEYORS ENGINEERS DATED MAY 2, 2016.
- 2. REFERENCE IS MADE TO WETLANDS MAP ENTITLED "INLAND WETLANDS AND WATERCOURSES LOCATED WITHIN THE TOWN OF EAST HARTFORD, CT" PREPARED FOR THE INLAND WETLANDS COMMISSION OF THE TOWN OF EAST HARTFORD BY TOWN OF EAST HARTFORD ENGINEERING DIVISION DATED APRIL 29, 2005.
- 3. SILVER LANE IS CT STATE ROUTE 502, ALL CONSTRUCTION AND STRUCTURES WITHIN THE STATE OF CONNECTICUT R.O.W., SHALL COMPLY WITH THE STATE OF CONNECTICUT REQUIREMENTS.
- 4. THE CONTRACTOR SHALL OBTAIN A CONNECTICUT DEPARTMENT OF TRANSPORTATION ENCROACHMENT PERMIT FOR WORK IN THE STATE RIGHT-OF-WAY.
- 5. UTILITY LOCATIONS SHOWN HEREIN WERE PLOTTED FROM INFORMATION SUPPLIED BY RESPECTIVE UTILITY COMPANIES AND DATA OBTAINED FROM FIELD SURVEYS AND OTHER RECORD PLANS. THE ACCURACY AND COMPLETENESS OF SUBSURFACE INFORMATION SHOWN ON THESE DRAWINGS IS NOT GUARANTEED. THE CONTRACTOR SHALL DETERMINE FOR HIMSELF, THE LOCATIONS AND ELEVATIONS OF ALL UTILITIES WHICH MAY AFFECT HIS CONSTRUCTION OPERATIONS. THE CONTRACTOR MUST ADEQUATELY PROTECT AND SUPPORT ALL UTILITIES AND HE SHALL BE RESPONSIBLE FOR ALL DAMAGE AT NO EXPENSE TO THE OWNER. ANYONE USING UTILITY INFORMATION AND DATA PROVIDED HEREIN SHALL CONTACT "CALL BEFORE YOU DIG", 1-800-922-4455 OR WWW.CBYD.COM, 72 HOURS IN ADVANCE OF ANY CONSTRUCTION TO VERIFY THE LOCATION OF UTILITIES PRIOR TO STARTING CONSTRUCTION.
- 6. IT IS THE RESPONSIBILITY OF EACH BIDDER IN EVALUATING THESE PLANS TO MAKE EXAMINATIONS IN THE FIELD BY VARIOUS METHODS AND OBTAIN NECESSARY INFORMATION FROM AVAILABLE RECORDS, UTILITY COMPANIES, AND INDIVIDUALS AS TO THE LOCATION OF SUBSURFACE STRUCTURES.
- 7. IT IS THE RESPONSIBILITY OF THE BIDDERS TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE SUBMISSION OF BIDS. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE DRAWINGS, SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND ENGINEER OF RECORD IN WRITING PRIOR TO THE THE SUBMISSION OF BIDS. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS, SPECIFICATIONS AND IN FULL CONFORMANCE WITH LOCAL AND STATE REGULATIONS AND CODES.
- 8. EXISTING STRUCTURES, DITCHES, PAVEMENT, CURBS OR GRASSED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE ORIGINAL CONDITION OR BETTER AS DESCRIBED IN THE DRAWING PRIOR TO SEMI-FINAL INSPECTIONS.
- 9. BOLD TEXT AND LINES INDICATE PROPOSED WORK, LIGHT TEXT AND LINES INDICATE APPROXIMATE EXISTING CONDITIONS.
- 10. TIGHE & BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES, LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM TIGHE & BOND.
- 11. EXCAVATE ADDITIONAL TEST PITS TO LOCATE EXISTING UTILITIES AS DIRECTED OR APPROVED BY THE ENGINEER.
- 12. NOTIFY THE ENGINEER OF ANY UTILITIES IDENTIFIED DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE DRAWINGS OR THAT DIFFER IN SIZE OR MATERIAL.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY; COORDINATION WITH THE OWNER, ALL SUBCONTRACTORS, AND WITH OTHER CONTRACTORS WORKING WITHIN THE LIMITS OF WORK, THE MEANS AND METHODS OF CONSTRUCTING THE PROPOSED WORK.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL CONSTRUCTION PERMITS, BONDS, LICENSES AND INSURANCE AS REQUIRED IN THE CONTRACT DOCUMENTS AND AS REQUIRED BY THE TOWN OF EAST HARTFORD AND THE STATE OF CONNECTICUT INCLUDING ALL WORK AND COSTS INCIDENTAL THERETO. TOWN PERMITS MAY REQUIRE THE DEVELOPMENT OF TEMPORARY TRAFFIC CONTROL PLANS, THE COST SHALL BE INCLUDED IN THE BID PRICE.
- 15. THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFICMEN, ETC. FOR THE MAINTENANCE OF SAFE ORDERLY TRAFFIC FLOW. THE CONTRACTOR MAY BE REQUIRED TO ADJUST TEMPORARY TRAFFIC CONTROL MEASURES AT THE DIRECTION OF THE TOWN OF EAST HARTFORD, STATE OF CONNECTICUT OR ENGINEER.
- 16. THE CONTRACTOR SHALL PROVIDE MEASURES TO CONTROL SEDIMENTATION AND EROSION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND LOCAL AND STATE REGULATIONS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL AREAS ARE STABILIZED. THE CONTRACTOR SHALL MINIMIZE

 2. THE CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT ALL EXISTING STRUCTURES, SURFACE THE AMOUNT OF DISTURBED AREAS EXPOSED AND RESTABILIZE AS SOON AS PRACTICAL. THE CONTRACTOR WILL BE RESPONSIBLE FOR PAYMENT OF ANY FINES OR FEES AT NO EXPENSE TO THE OWNER RESULTING FROM HIS ACTIVITIES.
- 17. ALL SIGNS AND PAVEMENT MARKINGS MUST CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AS AMENDED.
- 18. ANY DAMAGE TO EXISTING CURBS, CATCH BASINS, ETC., WITHIN THE TOWN OF EAST HARTFORD OR STATE OF CONNECTICUT RIGHT OF WAY, SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER, STATE OF CONNECTICUT, OR TOWN OF EAST HARTFORD.
- 19. SHORE UTILITY TRENCHES WHERE FIELD CONDITIONS DICTATE AND/OR WHERE REQUIRED BY LOCAL. STATE AND FEDERAL HEALTH AND SAFETY CODES.
- 20. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE OBSERVED THAT VARY SIGNIFICANTLY FROM THOSE SHOWN ON THE DRAWINGS. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING FOR THE RESOLUTION OF CONFLICTING INFORMATION.
- 21. PROTECT AND MAINTAIN ALL UTILITIES IN THE AREAS UNDER CONSTRUCTION DURING THE WORK. LEAVE ALL PIPES AND STRUCTURES WITHIN THE LIMITS OF THE CONTRACT IN A CLEAN AND OPERABLE CONDITION AT THE COMPLETION OF THE WORK. TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SAND AND SILT FROM DISTURBED AREAS FROM ENTERING THE DRAINAGE SYSTEM.
- 22. NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICT, ERROR, AMBIGUITY, OR DISCREPANCY WITH THE PLANS OR BETWEEN THE PLANS AND ANY APPLICABLE LAW, REGULATION, CODE, STANDARD SPECIFICATION, OR MANUFACTURER'S INSTRUCTIONS.
- 23. THE CONTRACTOR IS RESPONSIBLE FOR THE SUPPORT OF EXISTING UTILITIES AND REPAIR OR REPLACEMENT COSTS OF UTILITIES DAMAGED DURING CONSTRUCTION, WHETHER ABOVE OR BELOW GRADE. REPLACE DAMAGED UTILITIES IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER AND AT NO COST TO THE PROPERTY OWNER.
- 24. NO OPEN TRENCHES WILL BE ALLOWED OVERNIGHT. THE USE OF ROAD PLATES TO PROTECT THE EXCAVATION WILL BE CONSIDERED UPON REQUEST, BUT BACKFILLING IS PREFERRED.
- 25. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL/SAFETY DEVICES TO ENSURE SAFE VEHICULAR AND PEDESTRIAN ACCESS THROUGH THE WORK AREA, OR FOR SAFELY IMPLEMENTING DETOURS AROUND THE WORK AREA. PERFORM TRAFFIC CONTROL IN ACCORDANCE WITH THE CONTRACTOR'S APPROVED TRAFFIC CONTROL PLAN.
- 26. MAINTAIN EMERGENCY ACCESS TO ALL PROPERTIES WITHIN THE PROJECT AREA AT ALL TIMES DURING CONSTRUCTION.
- 27. WHEN WORKING IN THE ROAD, PROVIDE THE OWNER AND LOCAL FIRE/POLICE/SCHOOL AUTHORITIES A DETAILED PLAN OF APPROACH INDICATING METHODS OR PROPOSED TRAFFIC ROUTING ON A DAILY BASIS. PROVIDE COORDINATION TO ENSURE COMMUNICATION AND COORDINATION BETWEEN THE OWNER, CONTRACTOR AND LOCAL FIRE/POLICE/SCHOOL AUTHORITIES THROUGHOUT THE CONSTRUCTION PERIOD.
- 28. REMOVE AND DISPOSE OF ALL CONSTRUCTION-RELATED WASTE MATERIALS AND DEBRIS IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS.
- 29. THE TERM "DEMOLISH" USED ON THE DRAWINGS MEANS TO REMOVE AND DISPOSE OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- 30. THE TERM "ABANDON" USED ON THE DRAWINGS MEANS TO LEAVE IN PLACE AND TAKE APPROPRIATE MEASURES TO DECOMMISION AS SPECIFIED OR NOTED ON THE DRAWINGS.

SITE DEMOLITION PLAN NOTES

- THE CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT ALL EXISTING STRUCTURES, SURFACE IMPROVEMENTS, LANDSCAPING, ETC. OUTSIDE THE PROJECT LIMIT LINE AND SHALL RESTORE ANY DAMAGE TO THESE ITEMS TO PRE-DAMAGE CONDITION OR BETTER.
- CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT AND SIDEWALK AREAS AS REQUIRED BY THE CONTRACT DRAWINGS OR THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF ANY EXCAVATION AND AT ALL LOCATIONS WHERE THE PROPOSED PAVEMENT/CONCRETE WALK MEET EXISTING PAVEMENT/CONCRETE WALK.
- CONTRACTOR SHALL DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF OFF-SITE CHAIN LINK FENCING. GATES, FOOTINGS, BITUMINOUS CONCRETE PAVEMENT, BITUMINOUS CONCRETE CURBING, CONCRETE SIDEWALK, CONCRETE WALK, STAIRS, GUARDRAIL, TRANSFORMER PADS AND FOOTINGS, METAL RAILING, MANHOLES AND PIPING IDENTIFIED FOR REMOVAL, BOLLARDS, CONCRETE PADS, AND ALL ITEMS INDICATED TO BE REMOVED WITHIN PROJECT LIMIT LINE.
- 4. THE CONTRACTOR SHALL PROTECT EXISTING UTILITY STRUCTURES NOT IDENTIFIED FOR REMOVAL DURING UTILITY AND SURFACE DEMOLITION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED TO EXISTING UTILITY STRUCTURES AND SHALL REPAIR OR REPLACE THE EXISTING UTILITY STRUCTURES TO PRE-DAMAGED CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER AND AT NO ADDITIONAL COST TO THE OWNER.
- 5. THE PLAN IS PROVIDED TO SHOW THE GENERAL EXTENT OF THE SITE UTILITY REMOVAL AND DEMOLITION. NOT ALL ITEMS REQUIRING REMOVAL MAY BE SHOWN OR CALLED OUT. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND PROPERLY DISPOSE OF ALL ITEMS ON THE SITE (ABOVE GROUND OR BELOW GROUND) WHICH ARE NOT REQUIRED TO BE SAVED OR PROTECTED AND WHICH WILL NOT BE INCORPORATED INTO THE FINAL CONSTRUCTION.
- 6. UNLESS OTHERWISE NOTED ON THE PLANS, REMOVAL OF EXISTING BITUMINOUS CONCRETE PAVEMENT SHALL INCLUDE REMOVAL OF ALL ADJACENT CURBING.
- THE PROVISIONS OF WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH THE RULES, LAWS AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE SPECIFIC PHYSICAL OR CHEMICAL HAZARDS POSED TO THE CONTRACTOR'S EMPLOYEES IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. REFER TO APPLICABLE **HEALTH AND SAFETY SPECIFICATIONS**
- ALL ITEMS IDENTIFIED FOR REMOVAL/DEMOLITION SHALL BE DISPOSED OF LEGALLY OFF-SITE. ALL COSTS SHALL BE INCLUDED IN THE LUMP SUM BID PRICE.
- 9. CONTRACTOR TO COMPLY WITH THE REQUIREMENTS FOR EROSION AND SEDIMENTATION CONTROL PLAN.
- 10. CONTRACTOR SHALL PROTECT ALL CONCRETE SIDEWALKS, APRONS, CURBING, BITUMINOUS CONCRETE PAVEMENT, PEDESTRIAN RAMPS, DRAINAGE STRUCTURES, MANHOLES, PIPING, ETC., OUTSIDE PROJECT LIMIT LINE, AND WITHIN TOWN AND STATE ROADWAY RIGHT-OF-WAY.
- 11. INSTALL CONSTRUCTION SIGNS, CONSTRUCTION FENCING AND OTHER TEMPORARY CONTROLS AS REQUIRED PRIOR TO INITIATING DEMOLITION ACTIVITIES.
- 12. DEMOLITION WORK SHALL NOT PROCEED ON ANY STRUCTURE UNTIL ABATEMENT OF ASBESTOS OR OTHER HAZARDOUS MATERIALS HAVE BEEN COMPLETED, THE REQUIRED DEMOLITION PERMIT HAS BEEN ISSUED, AND AFTER THE TOWN HAS NOTIFIED THE CONTRACTOR THAT DEMOLITION OPERATIONS MAY COMMENCE.
- 13. THE CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE TOWN'S HAZARDOUS MATERIALS ABATEMENT DESIGNER AND THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR.
- 14. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE TOWN'S ENVIRONMENTAL CONSULTANT IF KNOWN OR SUSPECT HAZARDOUS MATERIALS OR ENVIRONMENTALLY IMPAIRED SOILS ARE ENCOUNTERED DURING BUILDING AND SITE DEMOLITION OPERATIONS.

SITE UTILITY DEMOLITION PLAN NOTES

- 1. ALL PROPOSED WATER AND SEWER WORK SHALL CONFORM TO THE METROPOLITAN DISTRICT COMMISSION (MDC) STANDARDS, MATERIALS, AND REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE PERMITTING FROM MDC UTILITY SERVICES PRIOR TO ANY CONSTRUCTION.
- IMPROVEMENTS, LANDSCAPING, ETC. OUTSIDE THE PROJECT LIMIT LINE AND SHALL RESTORE ANY DAMAGE TO THESE ITEMS TO PRE-DAMAGE CONDITION OR BETTER.
- 3. CONTRACTOR TO DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF OFFSITE EXISTING CATCH BASINS, TRENCH DRAINS, YARD DRAINS, STORM SEWERS, STORM MANHOLES, SANITARY SEWERS, SANITARY MANHOLES, DUCTBANK, VALVES, VALVE BOXES AND COVERS, WIRING, PIPING, MONITORING WELLS. TRANSFORMERS, AND ALL OTHER ITEMS INDICATED TO BE REMOVED.
- 4. THE CONTRACTOR SHALL PROTECT EXISTING UTILITY STRUCTURES NOT IDENTIFIED FOR REMOVAL DURING UTILITY AND SURFACE DEMOLITION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED TO EXISTING UTILITY STRUCTURES AND SHALL REPAIR OR REPLACE THE EXISTING UTILITY STRUCTURES TO PRE-DAMAGED CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER AND AT NO ADDITIONAL COST TO THE OWNER.
- 5. THIS PLAN IS PROVIDED TO SHOW THE GENERAL EXTENT OF THE SITE UTILITY DEMOLITION. NOT ALL ITEMS REQUIRING REMOVAL MAY BE SHOWN OR CALLED OUT. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND PROPERLY DISPOSE OF ALL ITEMS ON THE SITE (ABOVE GROUND OR BELOW GROUND) WHICH ARE NOT REQUIRED TO BE SAVED OR PROTECTED AND WHICH WILL NOT BE INCORPORATED INTO THE FINAL CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE EXACT BUILDING UTILITY SERVICES (WATER, SEWER, STORM, GAS, ELECTRIC, TEL-DATA, CATV) CUT-OFF AND ABANDONMENT REQUIREMENTS WITH THE RESPECTIVE UTILITY COMPANY. THE EXACT NUMBER AND LOCATIONS OF UTILITY SERVICE ABANDONMENTS SHALL BE COORDINATED AND CONFIRMED WITH THE RESPECTIVE UTILITY COMPANY.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT IDENTIFIED FOR REMOVAL OR ABANDONMENT. COORDINATE WITH PROPOSED UTILITY WORK, SEE THIS SHEET. SAWCUT LIMITS FOR UTILITY DISCONNECTIONS ARE APPROXIMATE IN NATURE. ACTUAL SAWCUT LIMITS, PAVEMENT/CONCRETE REMOVAL AND REPLACEMENT, SHALL BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION. SAWCUT, REMOVAL, AND REPLACEMENT LIMITS SHALL COINCIDE WITH THE NEAREST JOINT IN CONCRETE WALK REQUIRED TO INSTALL THE PROPOSED WORK.
- 8. EXISTING SANITARY PIPES CALLED OUT TO BE ABANDONED SHALL BE ABANDONED IN ACCORDANCE WITH THE METROPOLITAN DISTRICT'S STANDARDS AND REGULATIONS.
- EXISTING WATER LATERALS PIPES CALLED OUT TO BE ABANDONED SHALL BE ABANDONED IN ACCORDANCE WITH THE METROPOLITAN DISTRICT'S STANDARDS AND REGULATIONS.
- 10. EXISTING GAS LATERALS PIPES CALLED OUT TO BE ABANDONED SHALL BE ABANDONED IN ACCORDANCE WITH CONNECTICUT NATURAL GAS' STANDARDS AND REQUIREMENTS.
- 11. EXISTING ELECTRICAL SERVICE AND EQUIPMENTS CALLED OUT TO BE ABANDONED AND/OR REMOVED SHALL BE ABANDONED AND/OR REMOVED IN ACCORDANCE WITH EVERSOURCE STANDARDS AND REQUIREMENTS.
- 12. FIRE HYDRANTS CANNOT BE USED TO SUPPLY WATER TO THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING WATER DURING CONSTRUCTION.
- 13. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY SHUTOFF, CAPPING, ABANDONING, BACKFILLING, COMPACTION, AND PAVEMENT REPAIR. COORDINATE WITH RESPECTIVE UTILITY COMPANIES.

FORM 819 DISTRICT CONSTRUCTION NOTES

- CONSTRUCTION SPECIFICATIONS FOR WORK WITHIN THE STATE RIGHT-OF-WAY SHALL BE THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 819, DATED 2024; SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS.
- REMOVAL OF PAVEMENT MARKINGS ALONG STATE ROADWAYS SHALL BE COMPLETED BY A NON-DESTRUCTIVE METHOD IN COMPLIANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM 819, SECTION 12.11.
- NEW PAVEMENT MARKINGS SHALL BE PAINTED WITH EPOXY RESIN PAINT IN COMPLIANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM 819, SECTION 12.10.
- NEW SIGN MATERIAL AND SHEETING SHALL BE MADE OF REFLECTIVE MATERIAL IN COMPLIANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM 819, SECTION 12.08. TYPE 1 REFLECTIVE SHEETING SHALL BE USED FOR SIGNS WITH WHITE BACKGROUND, TYPE 3 REFLECTIVE SHEETING SHALL BE USED FOR SIGNS WITH COLORED BACKGROUND EXCEPT FOR SIGNS WITH RED BACKGROUND THAT SHALL BE TYPE 8 OR 9 REFLECTIVE SHEETING.
- ALL SIGNS AND PAVEMENT MARKINGS INSTALLED ALONG THE STATE ROAD MUST CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," THE LATEST STATE OF CONNECTICUT CATALOG OF SIGNS AND STANDARDS AS REVISED.
- ANY DAMAGE TO EXISTING CURB, SIDEWALK OR ANY OTHER HIGHWAY APPURTENANCES DURING DEVELOPMENT OF THE PERMITTED SITE WILL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE DISTRICT 3 PERMIT SECTION AT NO COST TO THE STATE.
- ALL WORK WITHIN THE STATE RIGHT OF WAY WILL COMPLY WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION FORM 819 WITH THE LATEST SPECIAL PROVISIONS AND TYPICAL STATE DETAILS.
- THE FINAL LIMITS OF MILLING AND OVERLAY SHALL BE DETERMINED PRIOR TO FINAL PAVING BY CTDOT DISTRICT 4 PERMIT INSPECTOR. THE CONTRACTOR SHALL COORDINATE WITH CTDOT TO DETERMINE THESE LIMITS AND NOTIFY THE OWNER AND ENGINEER OF ANY CHANGES TO THE LIMITS SHOWN ON THE DRAWINGS.

STANDARD ABBREVIATIONS

AASHTO - AMERICAN ASSOCIATION OF STATE HIGHWAY & TRANSPORTATION OFFICIALS ACCP - ASPHALT COATED CORRUGATED PIPE

AC - ACRES - AMERICAN CONCRETE INSTITUTE - AMERICANS WITH DISABILITIES ACT

ALUM. - ALUMINUM - BOTTOM OF CURB B.C.L.C. - BITUMINOUS CONCRETE LIP CURB

- BOTTOM OF WALL BW - CATCH BASIN CMP - CORRUGATED METAL PIPE

CONC - CONCRETE - CORRUGATED PLASTIC PIPE DIA - DIAMETER

DIP DUCTILE IRON PIPE DMH DRAINAGE MANHOLE EΑ - EACH - ELEVATION - EDGE OF PAVEMENT

EXIST. - EXISTING EXP. - EXPANSION F.A.R - FLOOR AREA RATIO - FOOTING DRAIN

- FLARED END OUTLET - FIRST FLOOR - FEET GALV. - GALVANIZED

- GRATE HDPE - HIGH DENSITY POLYETHYLENE PIPE

- HEADWALL HW HYD - HYDRANT - INSIDE DIAMETER I.D. INV - INVERT

- JOINT JT. MAX. - MAXIMUM MEG - MEET EXISTING GRADE

MIN. - MINIMUM - MANHOLE MPH - MILES PER HOUR

O.C. ON CENTER - OUTSIDE DIAMETER - POINT OF CURVATURE - PROPOSED CATCH BASIN

P.I. - POINT OF INTERSECTION PROP PROPOSED P.S.I. - POUNDS PER SQUARE INCH

- PROPOSED SANITARY MANHOLE POINT OF TANGENCY PVC - PLASTIC PIPE

PVMT. - PAVEMENT - RADIUS - REINFORCED CONCRETE PIPE

- ROOF LEADER - RIGHT OF WAY

- SQUARE FEET - SQUARE SQ. SANITARY MANHOLE

STD - STANDARD - TOP OF CURB

UNDERGROUND

TD TRENCH DRAIN TW - TOP OF WALL TYP - TYPICAL

WT. - WEIGHT - YARD DRAIN

U/G

LEGEND

PROPOSED

EXISTING

PROPERTY LINE IRON PIN MONUMENT - INTERMEDIATE CONTOUR INDEX CONTOUR ---xx--- SPOT ELEVATION x 00.0 (0) STORM DRAINAGE MANHOLE - CATCH BASIN _____ - STORM DRAINAGE PIPE SANITARY MANHOLE - SANITARY PIPE - WATER LINE - WATER VALVE - HYDRANT

> - GAS VALVE GUIDERAIL - SITE LIGHT

- UTILITY POLE TREE - PLANTINGS

- GAS LINE

 EDGE OF DRIVEWAY CONCRETE CURB

BITUMINOUS CONCRETE CURB

REMOVE EXISTING TREE

- EDGE OF ROAD

BIT. CONC. ISLAND LANE USE ARROW

- WHEEL STOP

- SILT SACK

- ENTRANCE SIGN

SILT FENCE

- HAYBALE RING AROUND CB - TREE PROTECTION

ANTI-TRACKING PAD

- CHAIN LINK FENCE - WOOD RAIL

ROADWAY SIGN

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ISSUED FOR BIDDING

07/25/24

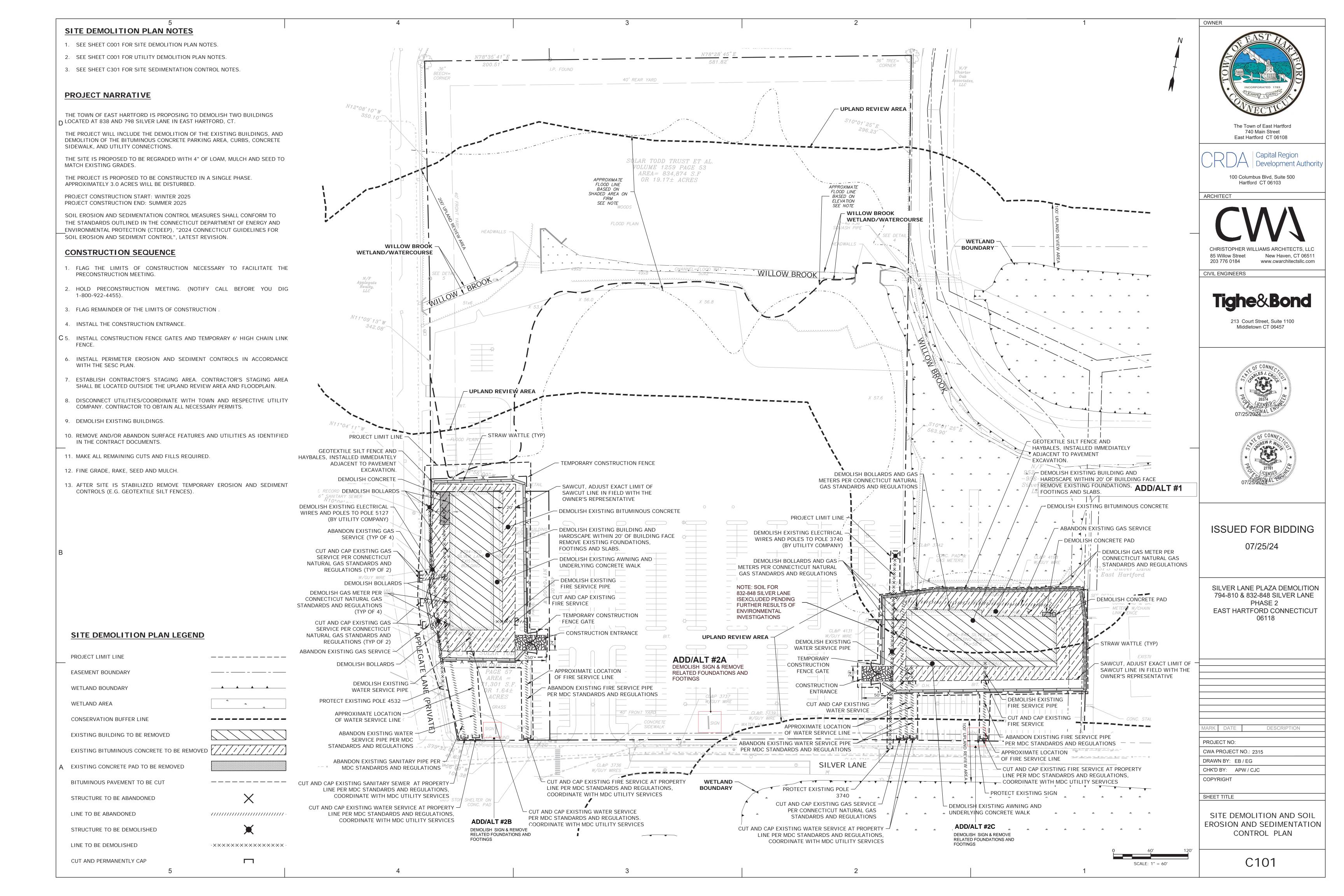
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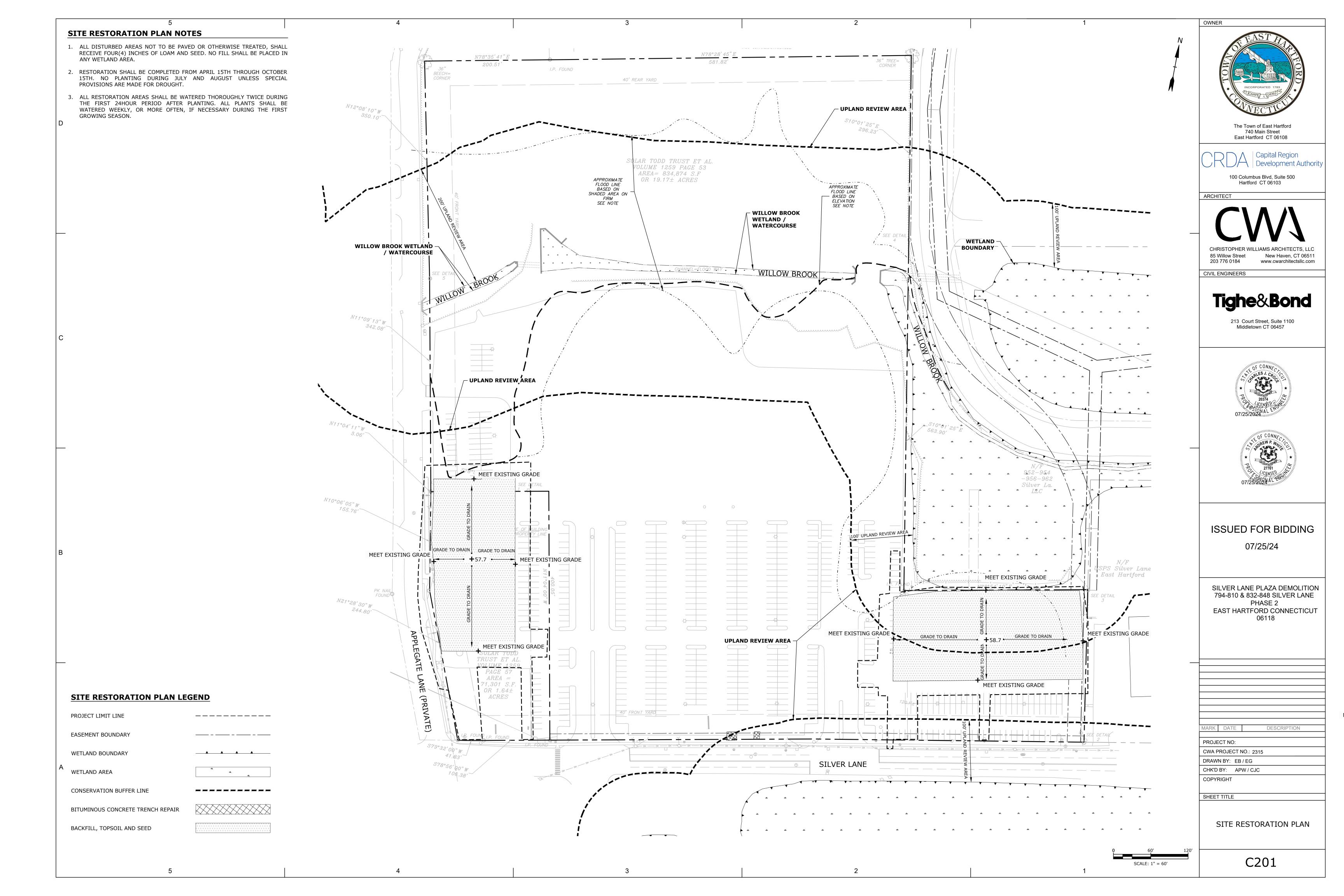
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GENERAL NOTES, STANDARD ABBREVIATIONS AND LEGEND PLAN

SHEET TITLE

C001





SITE SEDIMENTATION CONTROL NOTES

- 1. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OPERATION.
- 2. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" AND ALL AMENDMENTS AND ADDENDA THERETO AS PUBLISHED BY THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- 3. LAND DISTURBANCE SHALL BE KEPT TO THE MINIMUM NECESSARY FOR CONSTRUCTION.
- 4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND ELSEWHERE AS ORDERED BY THE OWNER'S REPRESENTATIVE, OR THE TOWN OF EAST
- 5. ALL CATCH BASINS SHALL BE PROTECTED WITH SILT SACKS, HAYBALE RING, SILT FENCE OR BLOCK AND STONE INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- 6. WHEREVER POSSIBLE, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- 7. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING CONSTRUCTION PERIOD AS ORDERED BY THE OWNER'S REPRESENTATIVE, OR THE TOWN OF EAST HARTFORD.
- 8. SEDIMENT REMOVED SHALL BE DISPOSED OF LEGALLY OFFSITE.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
- 10. THE CONTRACTOR SHALL MAINTAIN A SUPPLY OF SILT FENCE/HAYBALES AND ANTI-TRACKING CRUSHED STONE ON-SITE FOR EMERGENCY REPAIRS.
- 11. THE CONTRACTOR SHALL UTILIZE APPROVED METHODS/MATERIALS FOR PREVENTING THE BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES ONTO ADJACENT PROPERTIES AND SITE AREAS.
- 12. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED WEEKLY BY THE CONTRACTOR AND CLEANED TO PREVENT THE BUILD-UP OF SILT.
- 13. THE CONTRACTOR SHALL CAREFULLY COORDINATE THE PLACEMENT OF EROSION CONTROL MEASURES WITH THE PHASING OF CONSTRUCTION
- 14. KEEP ALL PAVED ROADWAYS CLEAN. SWEEP BEFORE FORECASTED STORMS OR WEEKLY AS NECESSARY OR AS DIRECTED BY THE TOWN.
- 15. TREAT ALL UNPAVED SURFACES WITH 4" MINIMUM OF TOPSOIL AND SEEDING PRIOR TO FINAL STABILIZATION.
- 16. HAYBALE BARRIERS AND SILT FENCING SHALL BE INSTALLED ALONG THE TOE OF CRITICAL CUT AND FILL SLOPES AS SHOWN ON THE PLANS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR THE TOWN OF EAST HARTFORD.
- 17. ALL TRUCKS LEAVING THE SITE MUST BE COVERED.

MATCH EXISTING

PAVEMENT (4" MIN)

SAWCUT EDGE OF -

COAT WITH LIQUID

BITUMEN

EXISTING PAVEMENT (TYP) AND CLEAN EDGE AND

- 18. DISTURBED SLOPES SHALL BE TREATED WITH AN EROSION CONTROL SLURRY CONSISTING OF A MIXTURE OF WOOD FIBER MULCH, PLANT SEED AND 3 GALLONS/ACRE OF SILT STOP 640 LIQUID FLOCCULENT. THE FLOCCULENT IS PROVIDED BY HYDROGRASS TECHNOLOGIES, OXFORD MASSACHUSETTS.
- 19. ALL SEDIMENTATION AND EROSION CONTROLS SHALL BE CHECKED WEEKLY AND AFTER EACH RAINFALL EVENT. NECESSARY REPAIRS SHALL BE MADE WITHOUT DELAY.
- 20. PRIOR TO ANY FORECASTED RAINFALL, EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND REPAIRED AS NECESSARY.
- 21. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, EROSION CONTROLS MAY BE REMOVED ONCE AUTHORIZATION TO DO SO HAS BEEN SECURED FROM THE TOWN OF EAST HARTFORD. DISTURBED AREAS SHALL BE SEEDED AND MULCHED.
- 22. CONTRACTOR IS TO COMPLY WITH THE REQUIREMENTS OF THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN.

MEET EXISTING

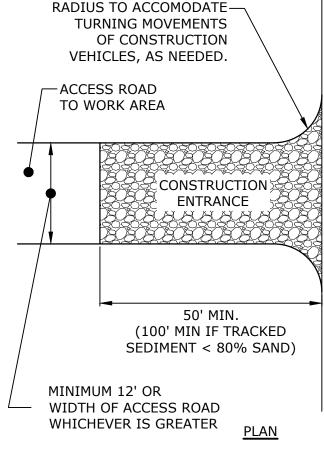
PAVEMENT

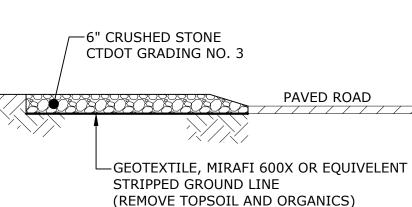
(MAX)

UNDISTURBED

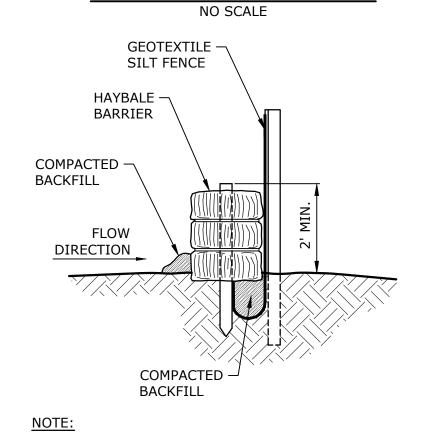
EARTH

NOTES





CONSTRUCTION ENTRANCE



1. BACKFILL AND COMPACT THE EXCAVATED SOIL AS SHOWN ON THE UPHILL SIDE OF THE BARRIER TO PREVENT PIPING.

SILT FENCE AND HAYBALE **COMBINED BARRIER**

2" (MIN.) THICK BITUMINOUS CONCRETE

- 2" (MIN.) THICK BITUMINOUS CONCRETE

HMA S1.0 TRAFFIC LEVEL 2 BINDER COURSE,

SAWCUT EDGE OF EXISTING

PAVEMENT (TYP) AND CLEAN EDGE

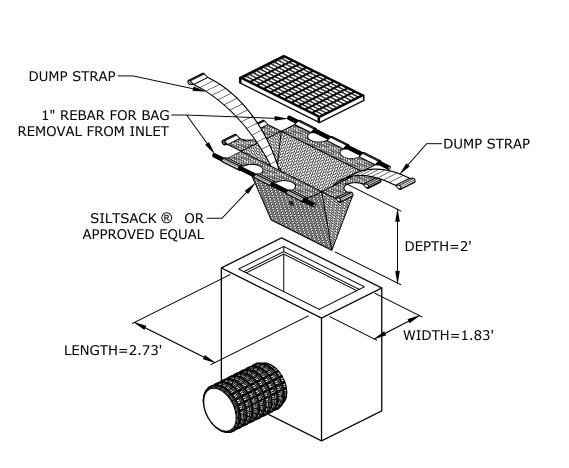
AND COAT WITH LIQUID BITUMEN

CTDOT, FORM 819, ARTICLE M.04.01

CTDOT, FORM 819, ARTICLE M.04.01

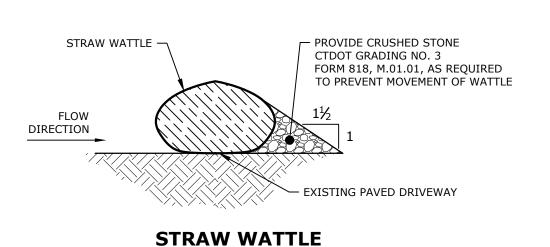
HMA S0.5 TRAFFIC LEVEL 2 BINDER COURSE,

NO SCALE

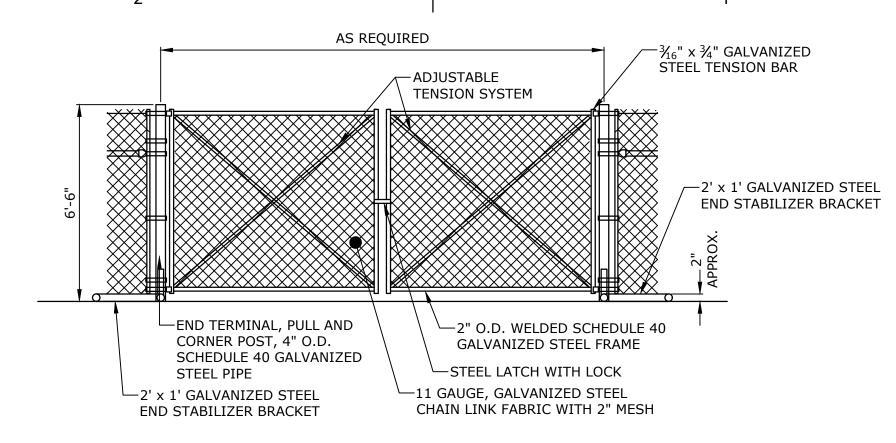


SILTSACK MANUFACTURED BY: ACF ENFIRONMENTAL 2831 CARDWELL ROAD RICHMOND, VIRGINIA 23237

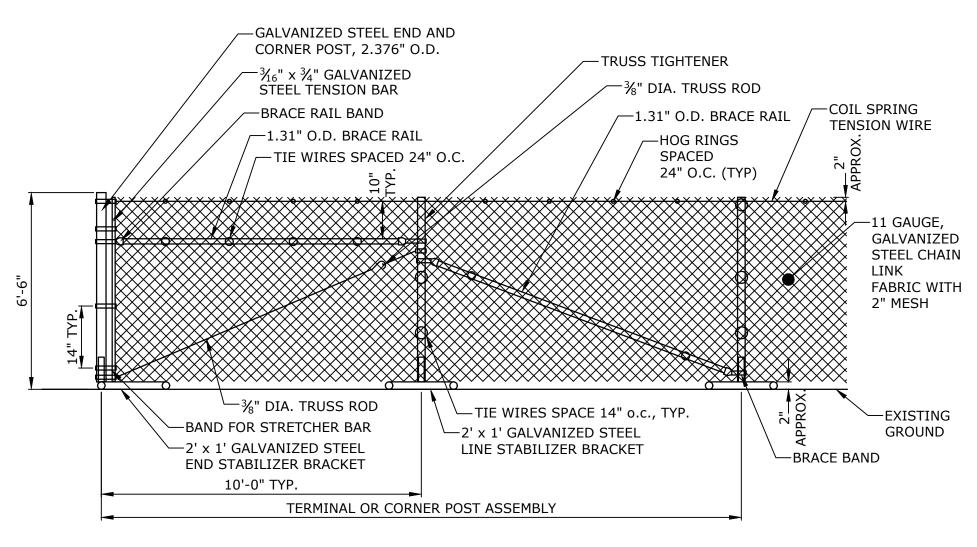
> **SILTSACK®** NO SCALE



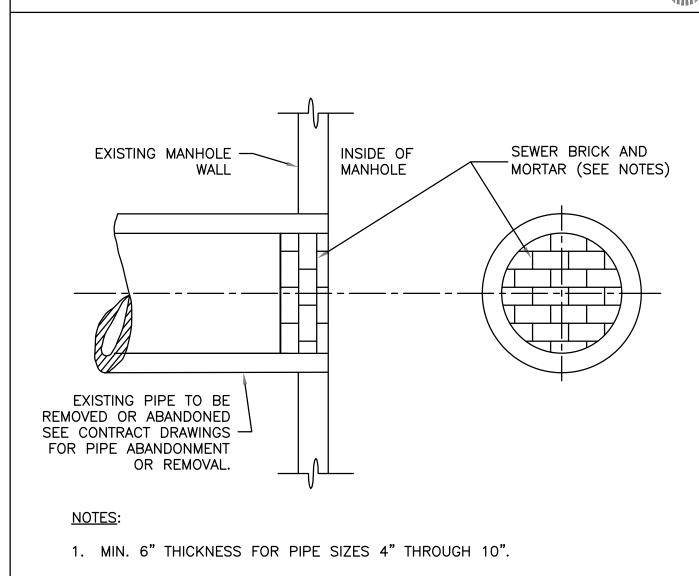
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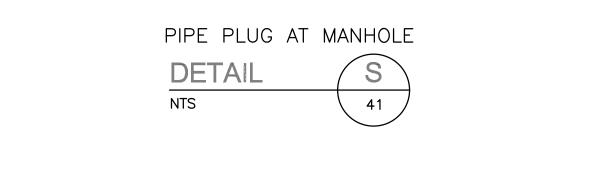
6' TEMPORARY CHAIN LINK CONSTRUCTION GATE



6' TEMPORARY CHAIN LINK CONSTRUCTION FENCE



- 2. MIN. 8" THICKNESS FOR PIPE SIZES 12" AND 15".
- 3. MIN. 12" THICKNESS FOR PIPE SIZES 15" AND GREATER.
- 4. SEWER PIPE 36" OR GREATER MAY UTILIZE CONCRETE BLOCK INSTEAD OF SEWER BRICK.



NO SCALE

BACKFILLED

TRENCH

TRENCH WIDTH

ON-SITE BITUMINOUS CONCRETE PAVEMENT

1. PROCESSED AGGREGATE BASE GRADATION SHALL CONFORM WITH CTDOT, FORM 819, ARTICLE

THE RECLAIMED MISCELLANEOUS AGGREGATE, ARTICLE M.05.01-2(c) IS NOT ACCEPTABLE.

2. ALL BITUMINOUS CONCRETE, SUBBASE, AND LIQUID BITUMEN SHALL CONFORM TO THE MATERIALS, EQUIPMENT AND SPECIFICATION REQUIREMENTS IN CTDOT FROM 819, INCLUDING ALL ADDENDA.

M.05.01-1. COARSE AGGREGATE SHALL CONFORM WITH CTDOT, FORM 819, ARTICLE M.05.01-2(a)(b).

(MAX)

ÚNDISTURBED

EARTH

- 8" PROCESSED AGGREGATE

CTDOT, FORM 819, ARTICLE M.05.01

THE METROPOLITAN DISTRICT SEWER STANDARD DETAILS

File: S-41 Pipe Plug at Manhole.dwg PAGE 41

Latest Revision: JANUARY 201

C301

The Town of East Hartford 740 Main Street

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New Haven, CT 06511

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CIVIL ENGINEERS

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203 776 0184

213 Court Street, Suite 1100 Middletown CT 06457





ISSUED FOR BIDDING

07/25/24

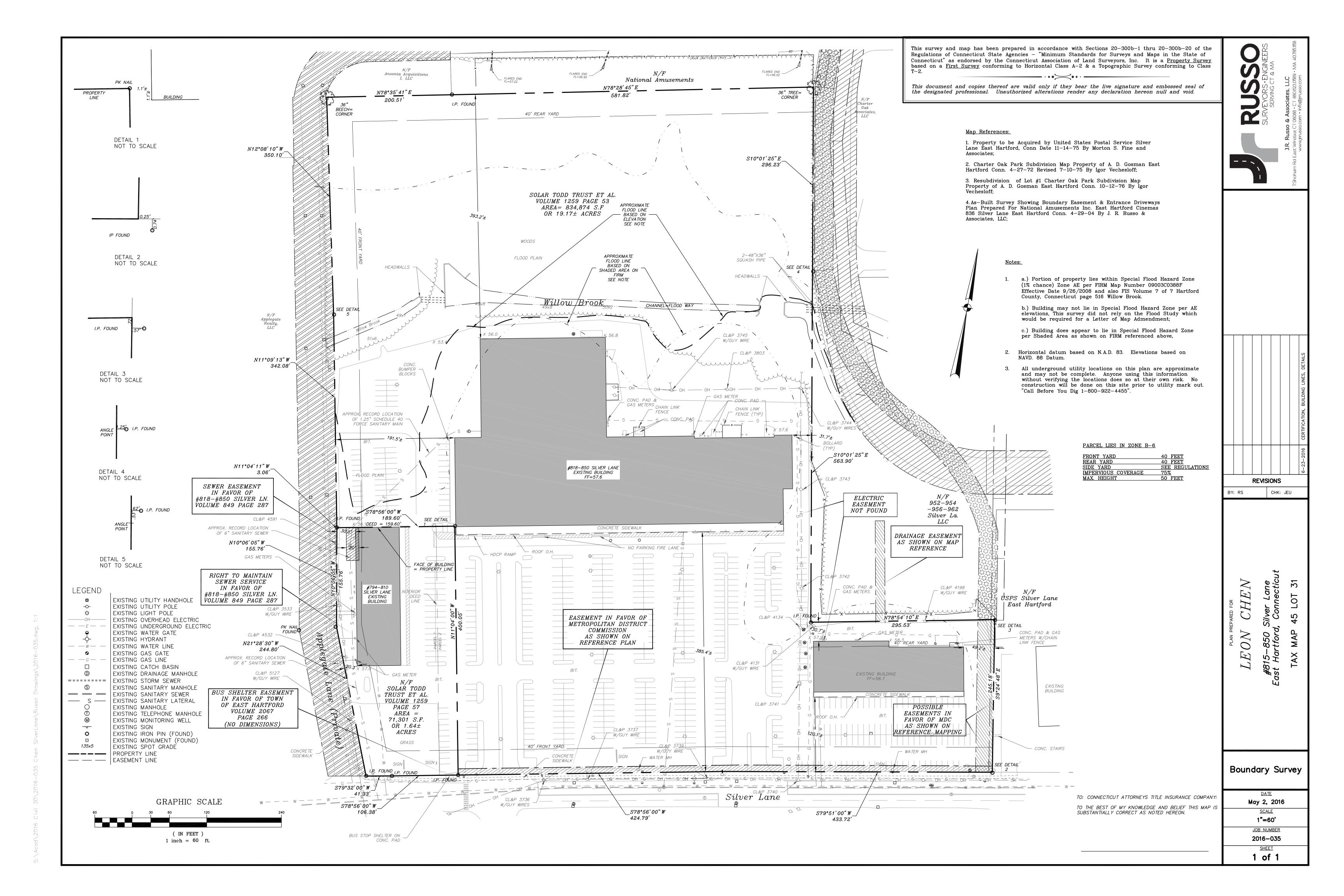
SILVER LANE PLAZA DEMOLITION 794-810 & 832-848 SILVER LANE PHASE 2 EAST HARTFORD CONNECTICUT 06118

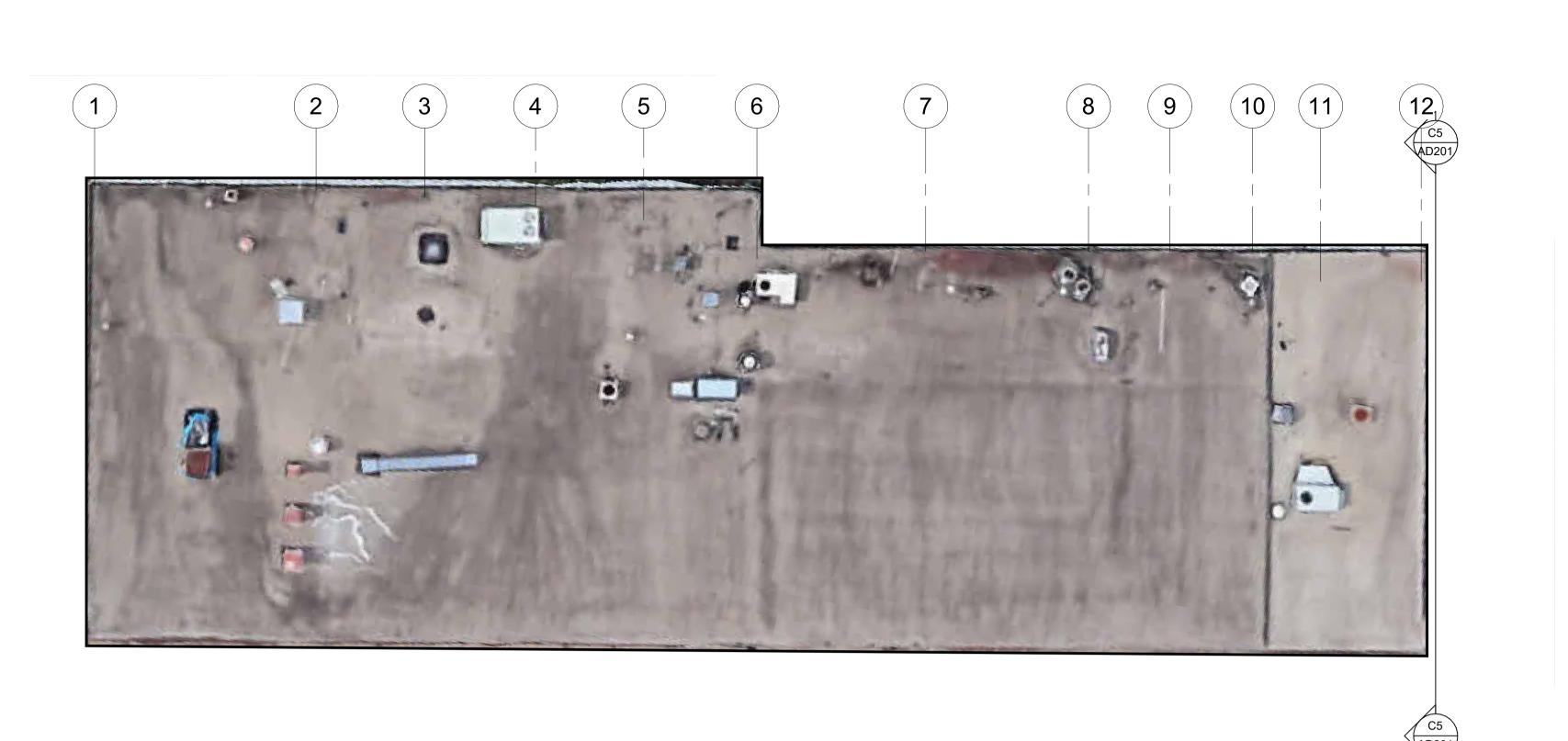
PROJECT NO: CWA PROJECT NO.: 2315 DRAWN BY: EB / EG CHK'D BY: APW / CJC

SHEET TITLE

COPYRIGHT

DETAILS





F2.06

119' - 9 7/16"

KEYNOTE

F2.01 REMOVE ALL FOUNDATIONS & FTGS: ASSUME EXIST FOUNDATION WALLS: 12" THICK CONC WALLS ON 24"X12" CONT STRIP FTGS @ 4'-0" BELOW FIN GRADE F2.04 EXIST FLR: ASSUME 4-5" THICK CONC SLAB ON 6"

GRAVEL BASE.

REMOVE INT TENANT DEMISING WALLS: ASSUME 8" CMU DEMISING WALL ON 16" W X 8" THICK CONC STRIP FTG BOT/FTG= -2'-0" BELOW FIN FLR.

The Town of East Hartford

OWNER

Capital Region Development Authority

740 Main Street East Hartford CT 06108

100 Columbus Blvd, Suite 500 Hartford CT 06103

ARCHITECT

203 776 0184 CIVIL ENGINEERS

CHRISTOPHER WILLIAMS ARCHITECTS, LLC 85 Willow Street New Haven, CT 06511

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213 Court Street, Suite 1100 Middletown CT 06457



ISSUED FOR BIDDING

7/25/24

SILVER LANE PLAZA DEMOLITION 794-810 & 832-848 SILVER LANE -PHASE 2 EAST HARTFORD CONNECTICUT 06118





KEY PLAN 1" = 300'-0"

SHEET TITLE 832-848 DEMO PLANS

MARK DATE

PROJECT NO:

DRAWN BY: CHK'D BY: COPYRIGHT

CWA PROJECT NO.: 2315

AD111

DESCRIPTION

Autodesk Docs://2315 Silver Lane Plaza R22/2315 Silver Lane Plaza Demo R22.rvt 7/29/2024 11:03:13 AM

FIRST FLOOR - 832-848 SILVER LANE

F2.06

VACANT

OCCUPIED

121' - 3 7/8"

F2.04

OCCUPIED

C5 ROOF - 832-848 SILVER LANE

F2.01

F2.06

VACANT

ADD/ALT #1 FOR #832-848 ONLY

VACANT

