

SILVER LANE PLAZA DEMOLITION

794-810 & 832-848 SILVER LANE - PHASE 2
 EAST HARTFORD CONNECTICUT 06118
 CWA PROJECT NO: 2315

SHEET LIST			
NO.	SHEET NAME		07/25/24
A0	COVER SHEET		•
C001	GENERAL NOTES, STANDARD ABBREVIATIONS AND LEGEND PLAN		•
C101	SITE DEMOLITION AND SOIL EROSION AND SEDIMENTATION CONTROL PLAN		•
C201	SITE RESTORATION PLAN		•
C301	DETAILS		•
REF	SITE SURVEY MAP		•
AD111	832-848 DEMO PLANS		•
AD112	794-810 DEMO PLANS		•
AD201	832-848 ELEVATIONS		•
AD202	794-810 ELEVATIONS		•



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100 Columbus Blvd, Suite 500
 Hartford CT 06103

ARCHITECT



CHRISTOPHER WILLIAMS ARCHITECTS
 85 Willow Street New Haven, CT 06511
 203 776 0184 cwarchitectsllc.com

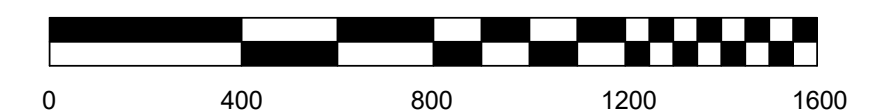
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LOCATION PLAN



SITE DEMOLITION PLAN NOTES

- SEE SHEET C001 FOR SITE DEMOLITION PLAN NOTES.
- SEE SHEET C001 FOR UTILITY DEMOLITION PLAN NOTES.
- SEE SHEET C301 FOR SITE SEDIMENTATION CONTROL NOTES.

PROJECT NARRATIVE

THE TOWN OF EAST HARTFORD IS PROPOSING TO DEMOLISH TWO BUILDINGS LOCATED AT 838 AND 798 SILVER LANE IN EAST HARTFORD, CT.

THE PROJECT WILL INCLUDE THE DEMOLITION OF THE EXISTING BUILDINGS, AND DEMOLITION OF THE BITUMINOUS CONCRETE PARKING AREA, CURBS, CONCRETE SIDEWALK, AND UTILITY CONNECTIONS.

THE SITE IS PROPOSED TO BE REGRADED WITH 4" OF LOAM, MULCH AND SEED TO MATCH EXISTING GRADES.

THE PROJECT IS PROPOSED TO BE CONSTRUCTED IN A SINGLE PHASE. APPROXIMATELY 3.0 ACRES WILL BE DISTURBED.

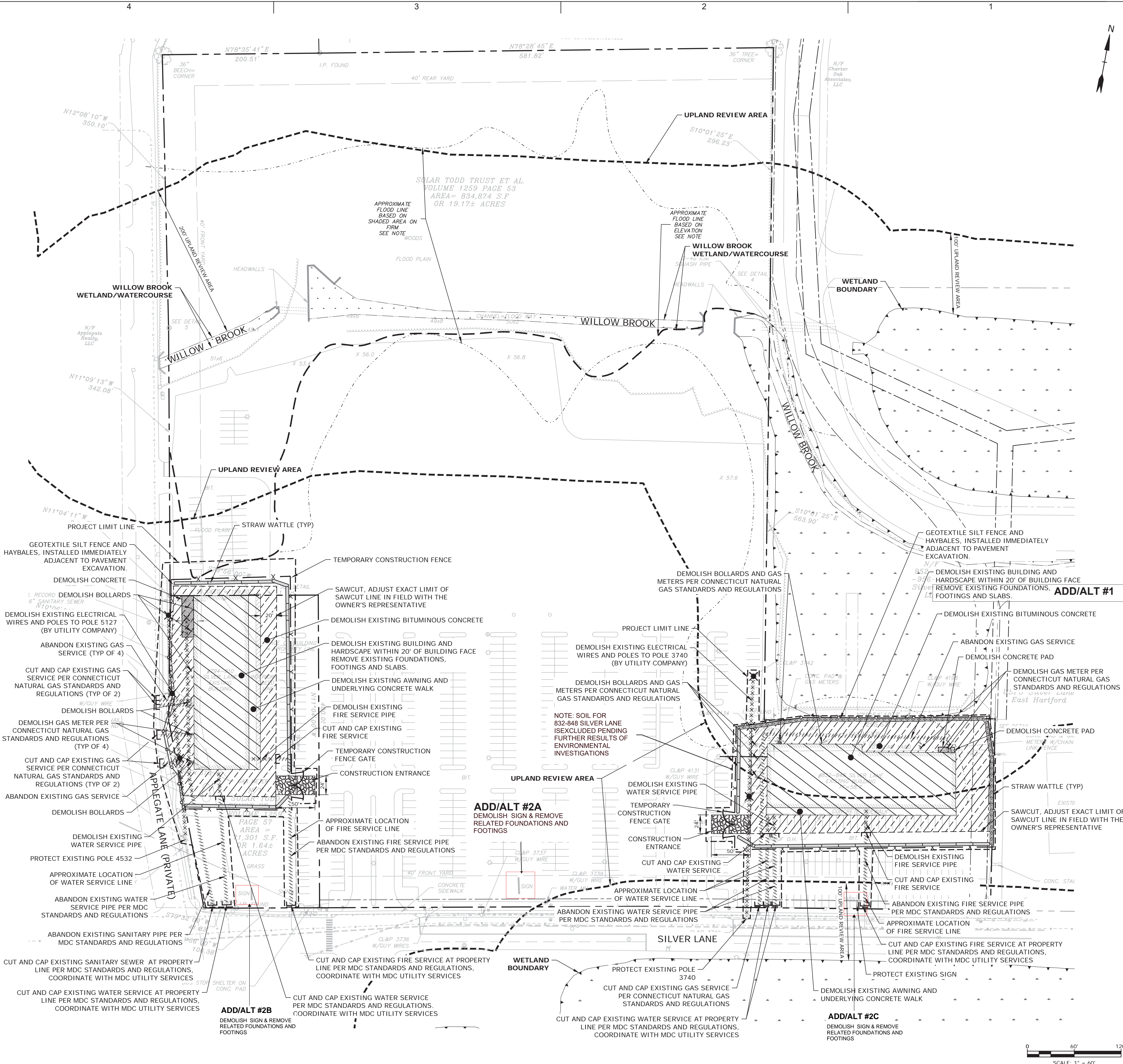
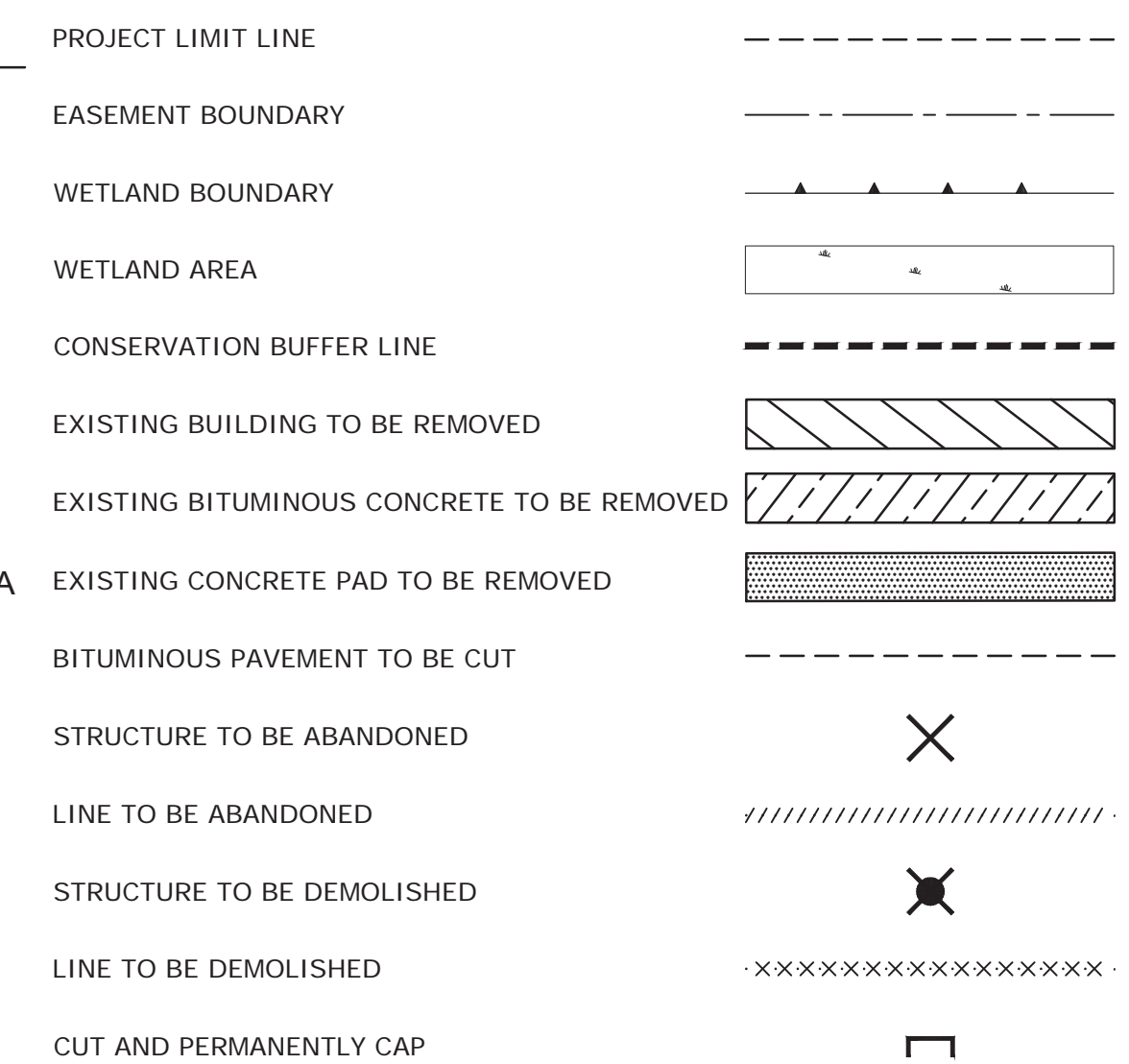
PROJECT CONSTRUCTION START: WINTER 2025
PROJECT CONSTRUCTION END: SUMMER 2025

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE STANDARDS OUTLINED IN THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION (CTDEEP), "2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", LATEST REVISION.

CONSTRUCTION SEQUENCE

- FLAG THE LIMITS OF CONSTRUCTION NECESSARY TO FACILITATE THE PRECONSTRUCTION MEETING.
- HOLD PRECONSTRUCTION MEETING. (NOTIFY CALL BEFORE YOU DIG 1-800-922-4455).
- FLAG REMAINDER OF THE LIMITS OF CONSTRUCTION.
- INSTALL THE CONSTRUCTION ENTRANCE.
- INSTALL CONSTRUCTION FENCE GATES AND TEMPORARY 6' HIGH CHAIN LINK FENCE.
- INSTALL PERIMETER EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE SESC PLAN.
- ESTABLISH CONTRACTOR'S STAGING AREA. CONTRACTOR'S STAGING AREA SHALL BE LOCATED OUTSIDE THE UPLAND REVIEW AREA AND FLOODPLAIN.
- DISCONNECT UTILITIES/COORDINATE WITH TOWN AND RESPECTIVE UTILITY COMPANY. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- DEMOLISH EXISTING BUILDINGS.
- REMOVE AND/OR ABANDON SURFACE FEATURES AND UTILITIES AS IDENTIFIED IN THE CONTRACT DOCUMENTS.
- MAKE ALL REMAINING CUTS AND FILLS REQUIRED.
- AFTER SITE IS STABILIZED REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS (E.G. GEOTEXTILE SILT FENCES).

SITE DEMOLITION PLAN LEGEND



OWNER

The Town of East Hartford
740 Main Street
East Hartford CT 06108

CRDA Capital Region Development Authority

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CIVIL ENGINEERS

213 Court Street, Suite 1100
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STATE OF CONNECTICUT
CHARLES J. CREE
20374
LICENSED PROFESSIONAL ENGINEER
07/25/2024

STATE OF CONNECTICUT
ANDREW P. WHITE
27781
LICENSED PROFESSIONAL ENGINEER
07/25/2024

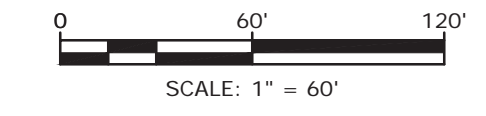
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794-810 & 832-848 SILVER LANE
PHASE 2
EAST HARTFORD CONNECTICUT
06118

MARK	DATE	DESCRIPTION
PROJECT NO:		
CWA PROJECT NO.:		2315
DRAWN BY:		EB / EG
CHKD BY:		APW / CJC
COPYRIGHT		
SHEET TITLE		

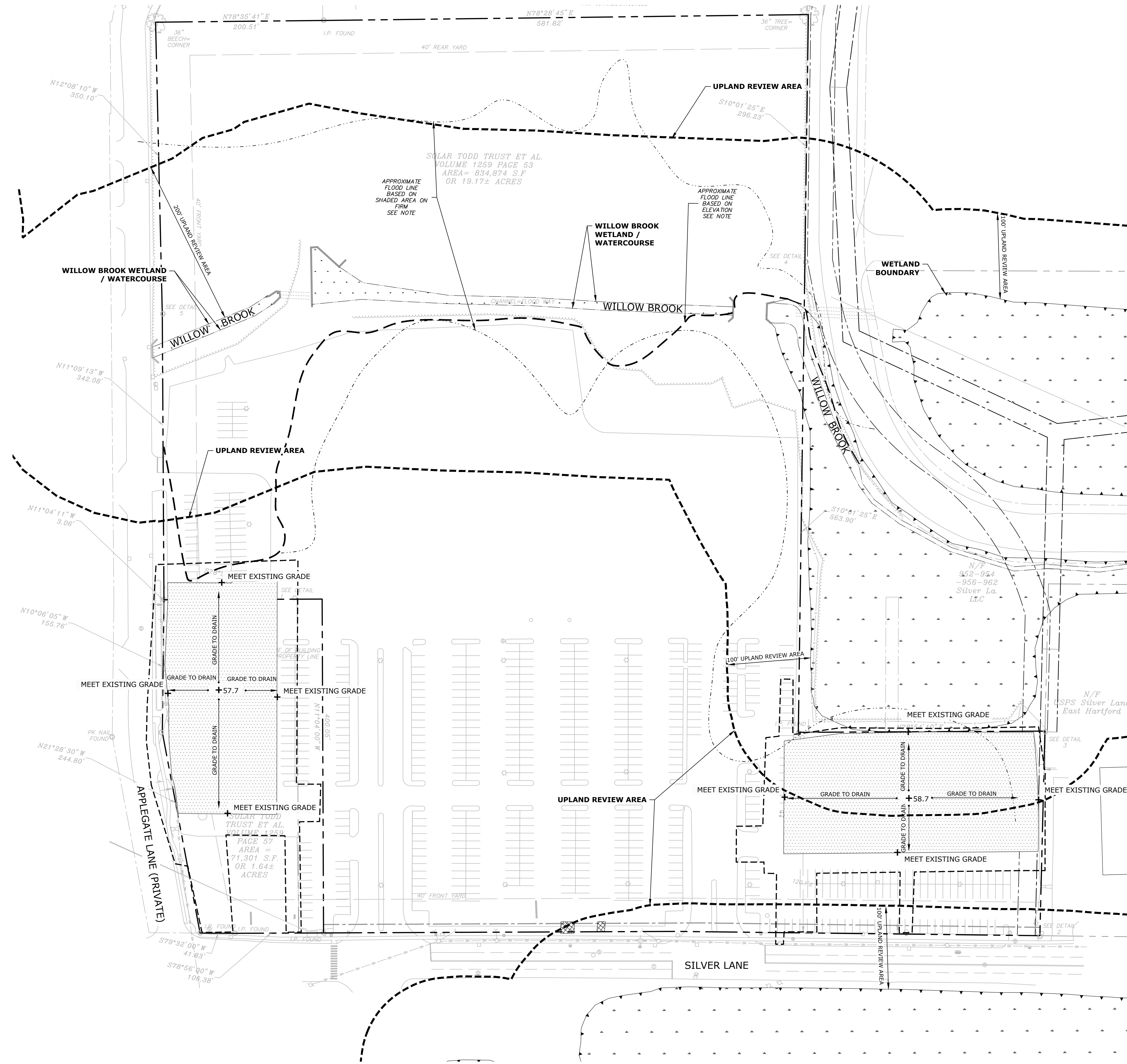
SITE DEMOLITION AND SOIL EROSION AND SEDIMENTATION CONTROL PLAN

C101



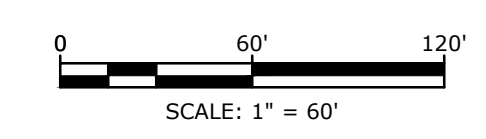
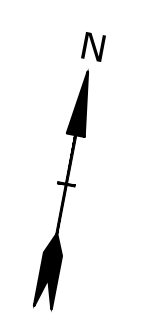
SITE RESTORATION PLAN NOTES

1. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE FOUR(4) INCHES OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
2. RESTORATION SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
3. ALL RESTORATION AREAS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON.



SITE RESTORATION PLAN LEGEND

- PROJECT LIMIT LINE
- EASEMENT BOUNDARY
- WETLAND BOUNDARY
- WETLAND AREA
- CONSERVATION BUFFER LINE
- BITUMINOUS CONCRETE TRENCH REPAIR
- BACKFILL, TOPSOIL AND SEED



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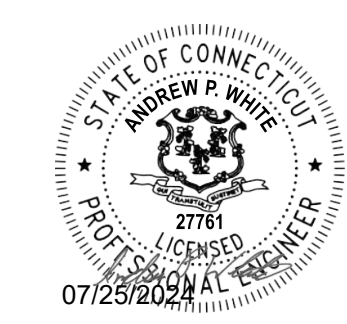
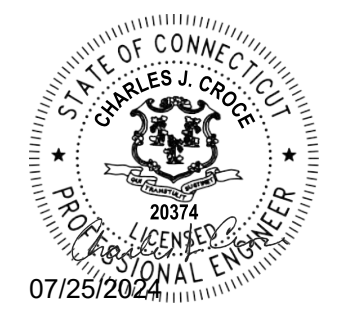


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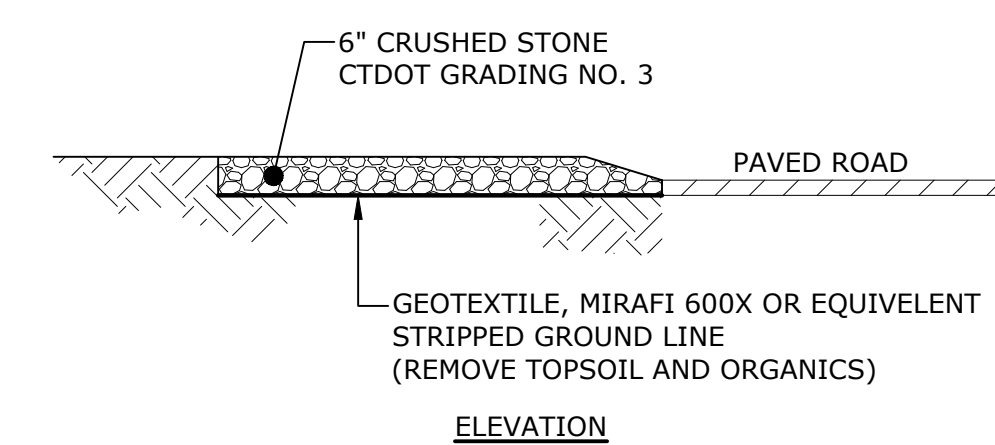
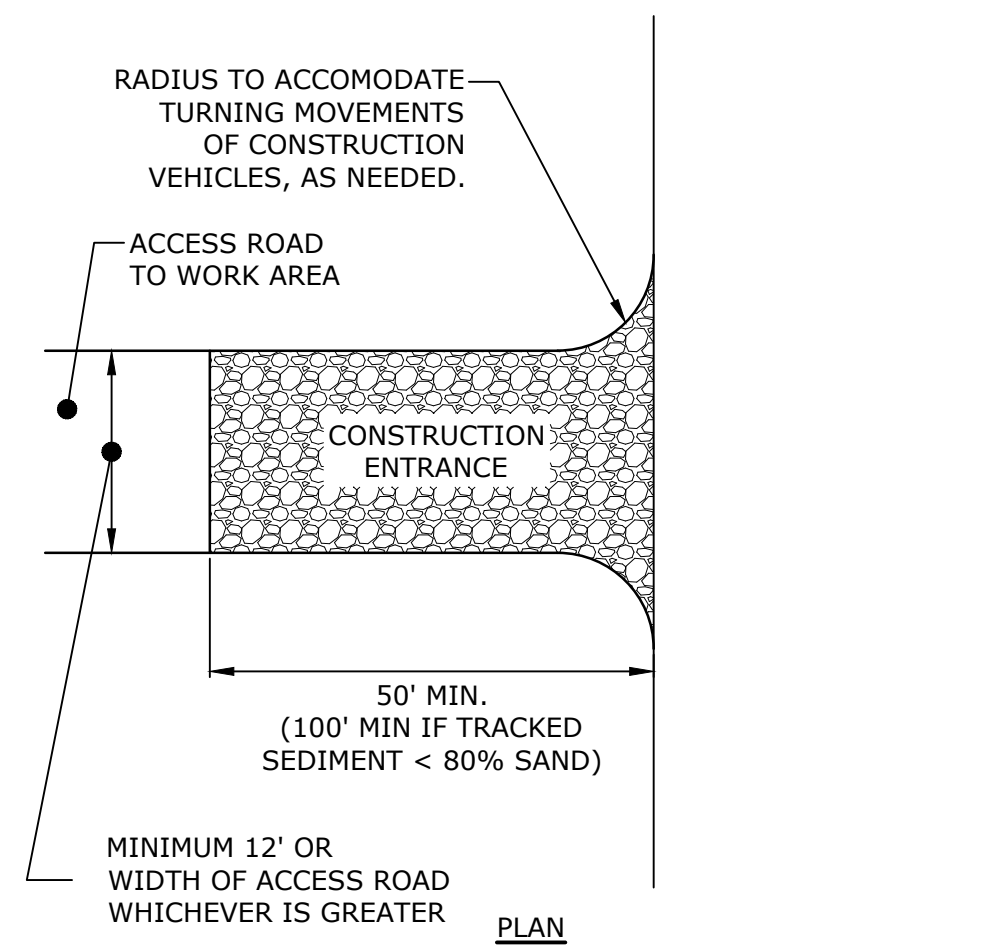
SHEET TITLE

SITE RESTORATION PLAN

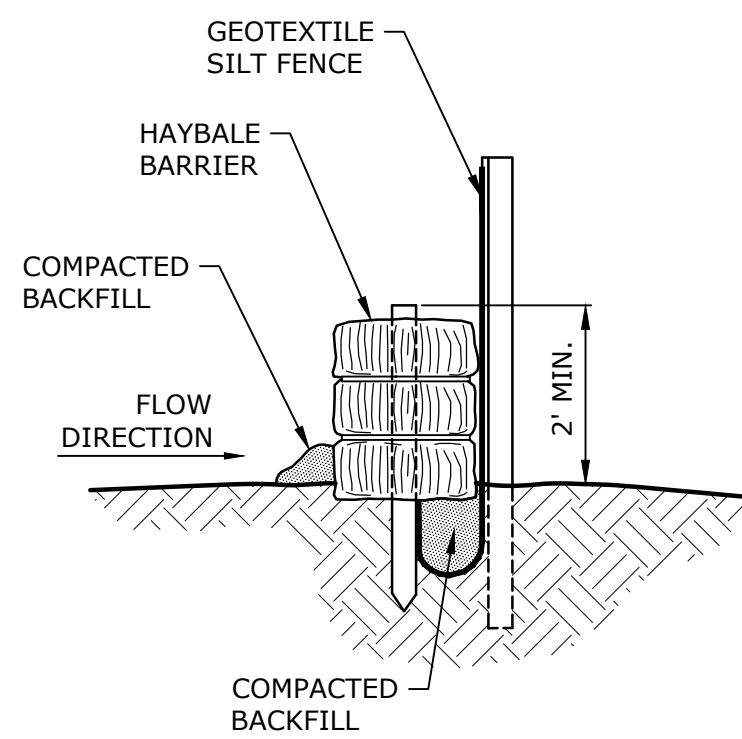
C201

SITE SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OPERATION.
- ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" AND ALL AMENDMENTS AND ADDENDA THERETO AS PUBLISHED BY THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- LAND DISTURBANCE SHALL BE KEPT TO THE MINIMUM NECESSARY FOR CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND ELSEWHERE AS ORDERED BY THE OWNER'S REPRESENTATIVE, OR THE TOWN OF EAST HARTFORD.
- ALL CATCH BASINS SHALL BE PROTECTED WITH SILT SACKS, HAYBALE RING, SILT FENCE OR BLOCK AND STONE INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- WHEREVER POSSIBLE, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING CONSTRUCTION PERIOD AS ORDERED BY THE OWNER'S REPRESENTATIVE, OR THE TOWN OF EAST HARTFORD.
- SEDIMENT REMOVED SHALL BE DISPOSED OF LEGALLY OFFSITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL MAINTAIN A SUPPLY OF SILT FENCE/HAYBALES AND ANTI-TRACKING CRUSHED STONE ON-SITE FOR EMERGENCY REPAIRS.
- THE CONTRACTOR SHALL UTILIZE APPROVED METHODS/MATERIALS FOR PREVENTING THE BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES ONTO ADJACENT PROPERTIES AND SITE AREAS.
- ALL DRAINAGE STRUCTURES SHALL BE INSPECTED WEEKLY BY THE CONTRACTOR AND CLEANED TO PREVENT THE BUILD-UP OF SILT.
- THE CONTRACTOR SHALL CAREFULLY COORDINATE THE PLACEMENT OF EROSION CONTROL MEASURES WITH THE PHASING OF CONSTRUCTION.
- KEEP ALL PAVED ROADWAYS CLEAN. SWEEP BEFORE FORECASTED STORMS OR WEEKLY AS NECESSARY OR AS DIRECTED BY THE TOWN.
- TREAT ALL UNPAVED SURFACES WITH 4" MINIMUM OF TOPSOIL AND SEEDING PRIOR TO FINAL STABILIZATION.
- HAYBALE BARRIERS AND SILT FENCING SHALL BE INSTALLED ALONG THE TOE OF CRITICAL CUT AND FILL SLOPES AS SHOWN ON THE PLANS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR THE TOWN OF EAST HARTFORD.
- ALL TRUCKS LEAVING THE SITE MUST BE COVERED.
- DISTURBED SLOPES SHALL BE TREATED WITH AN EROSION CONTROL SLURRY CONSISTING OF A MIXTURE OF WOOD FIBER MULCH, PLANT SEED AND 3 GALLONS/ACRE OF SILT STOP 640 LIQUID FLOCCULENT. THE FLOCCULENT IS PROVIDED BY HYDROGRASS TECHNOLOGIES, OXFORD MASSACHUSETTS.
- ALL SEDIMENTATION AND EROSION CONTROLS SHALL BE CHECKED WEEKLY AND AFTER EACH RAINFALL EVENT. NECESSARY REPAIRS SHALL BE MADE WITHOUT DELAY.
- PRIOR TO ANY FORECASTED RAINFALL, EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND REPAIRED AS NECESSARY.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, EROSION CONTROLS MAY BE REMOVED ONCE AUTHORIZATION TO DO SO HAS BEEN SECURED FROM THE TOWN OF EAST HARTFORD. DISTURBED AREAS SHALL BE SEED AND MULCHED.
- CONTRACTOR IS TO COMPLY WITH THE REQUIREMENTS OF THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN.

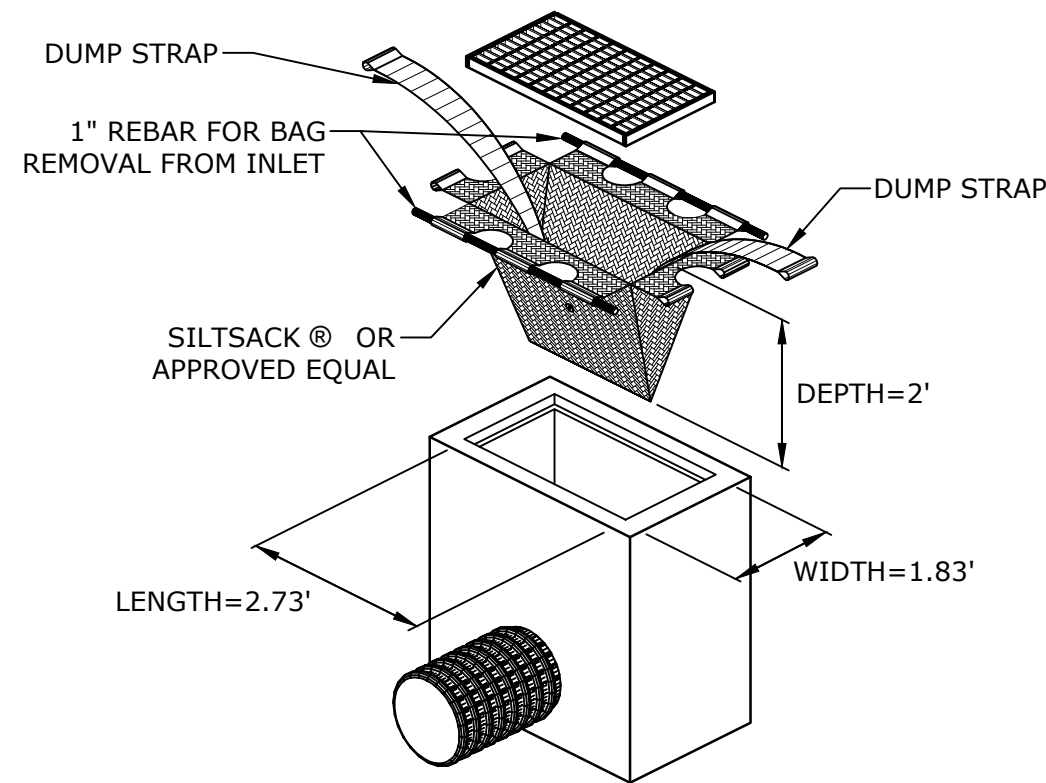


CONSTRUCTION ENTRANCE
NO SCALE



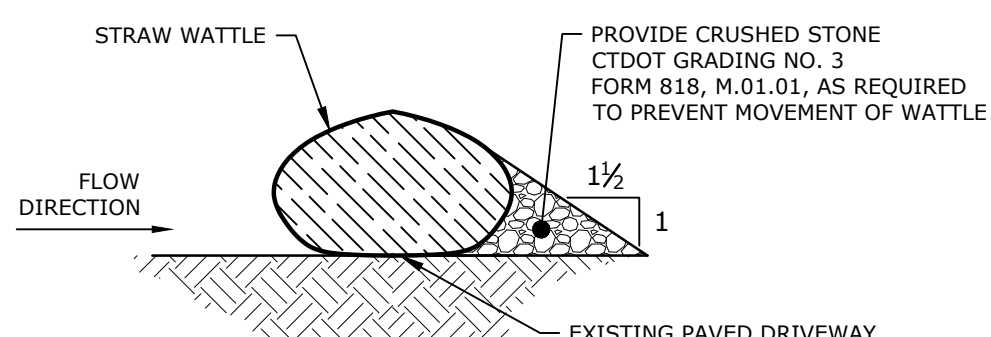
NOTE:
1. BACKFILL AND COMPACT THE EXCAVATED SOIL AS SHOWN ON THE UPHILL SIDE OF THE BARRIER TO PREVENT PIPING.

SILT FENCE AND HAYBALE COMBINED BARRIER
NO SCALE

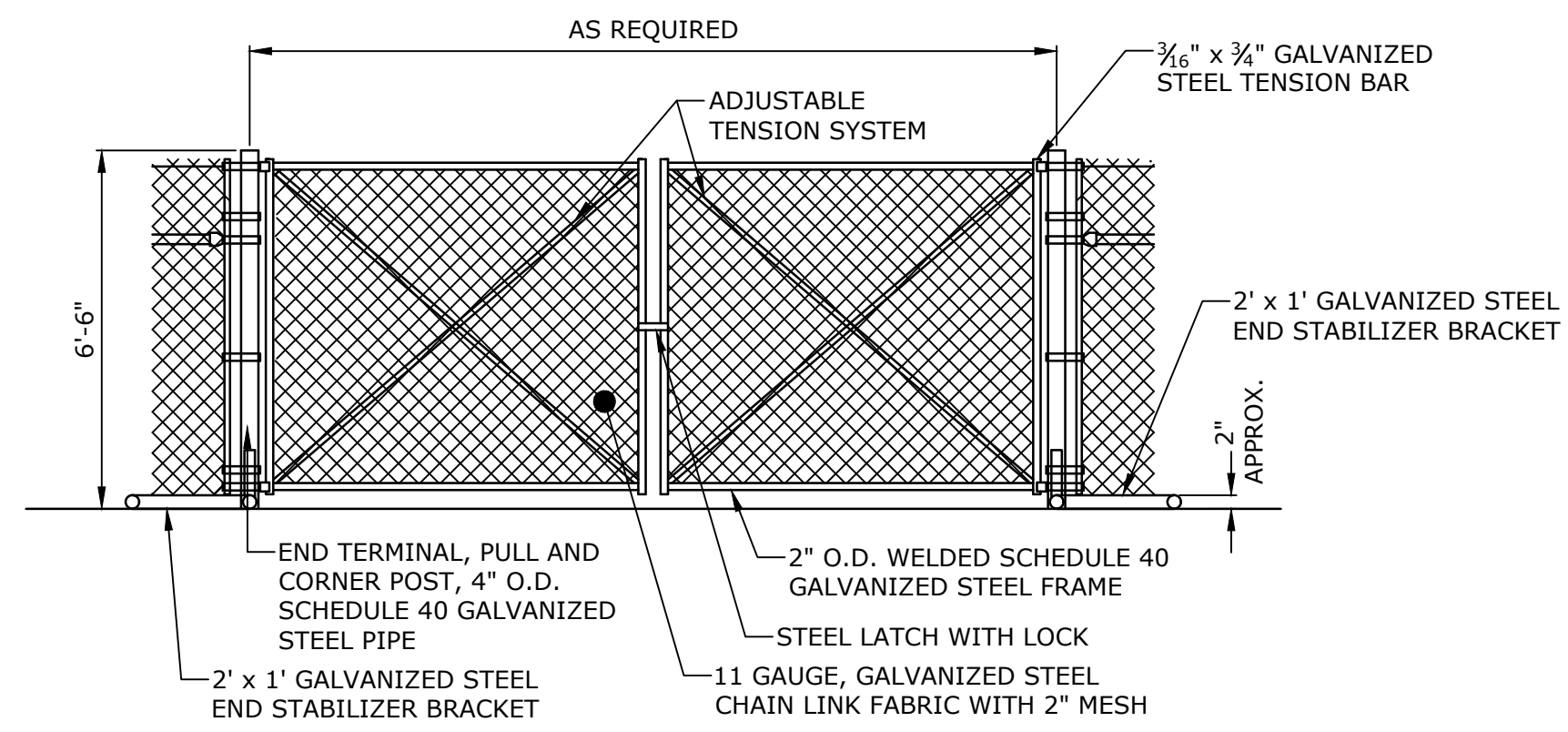


SILTSACK MANUFACTURED BY:
ACF ENVIRONMENTAL
2831 CARDWELL ROAD
RICHMOND, VIRGINIA 23237

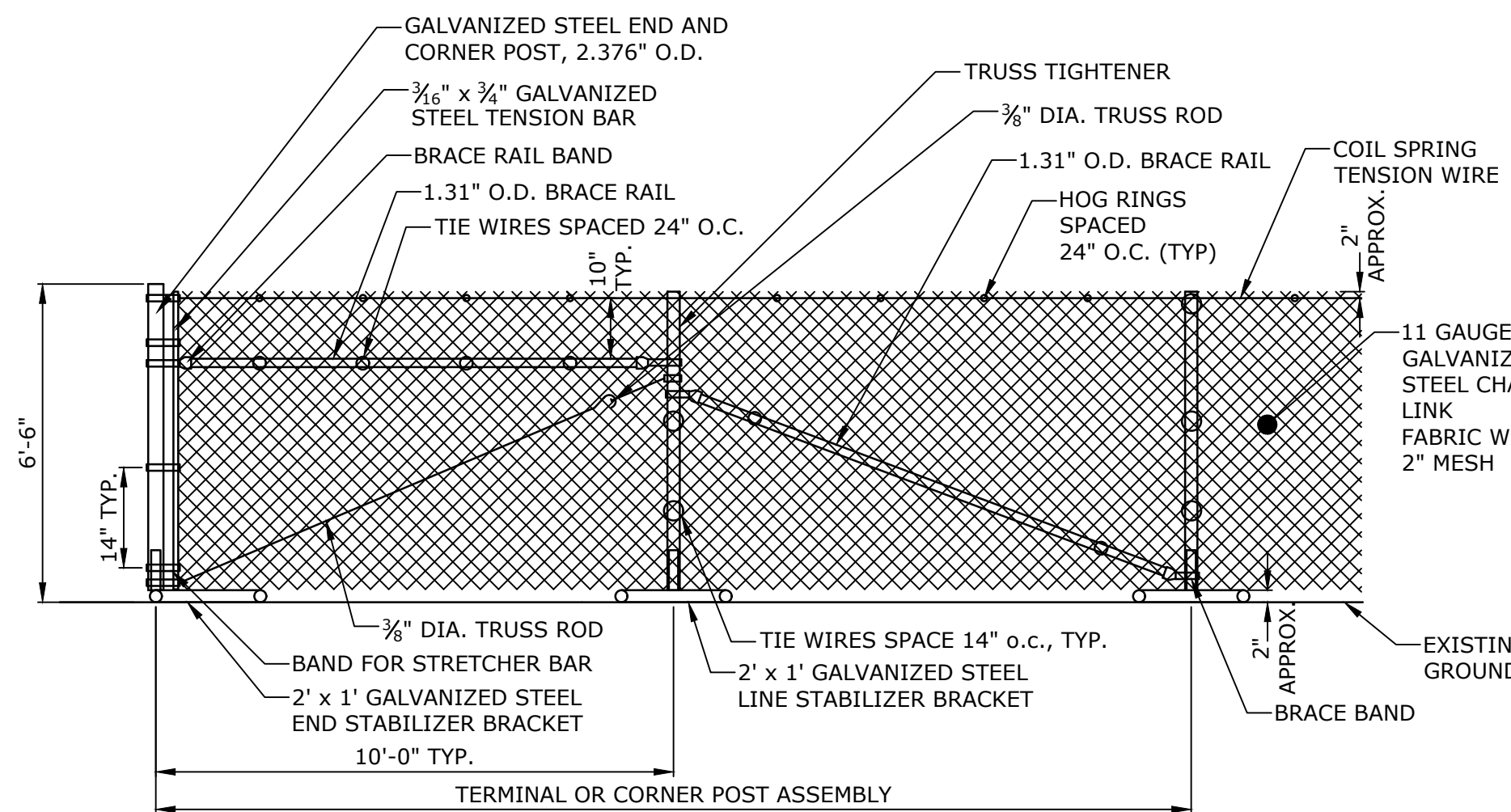
SILTSACK®
NO SCALE



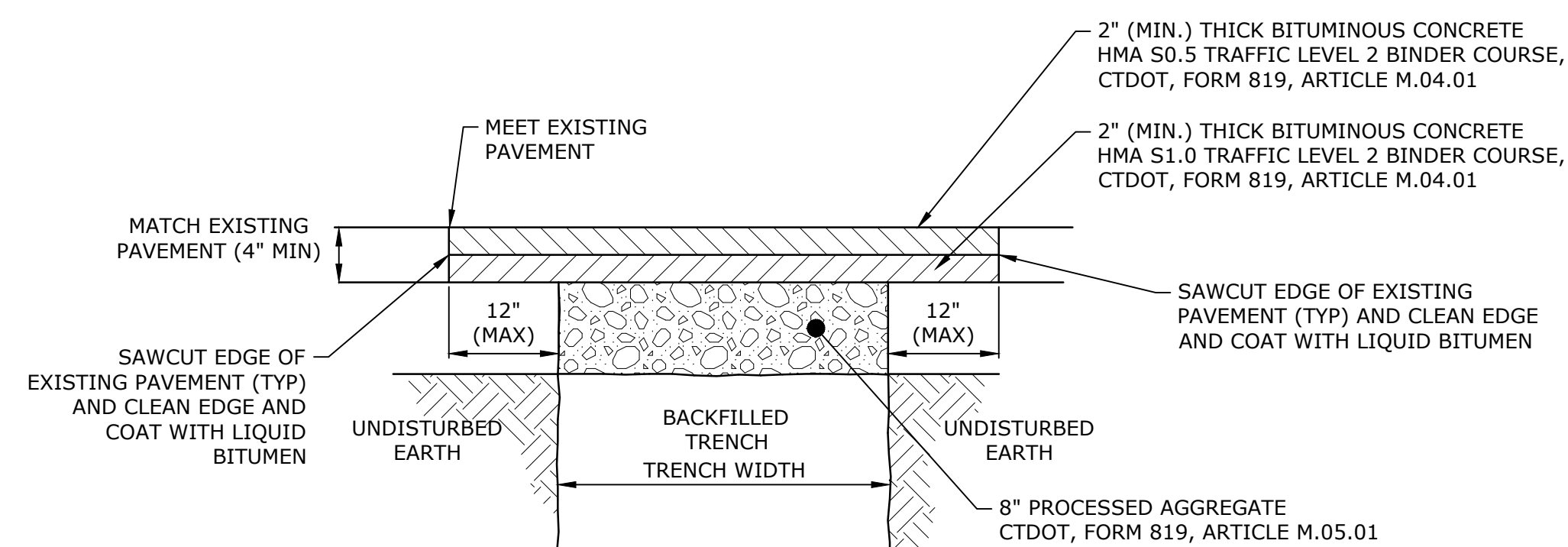
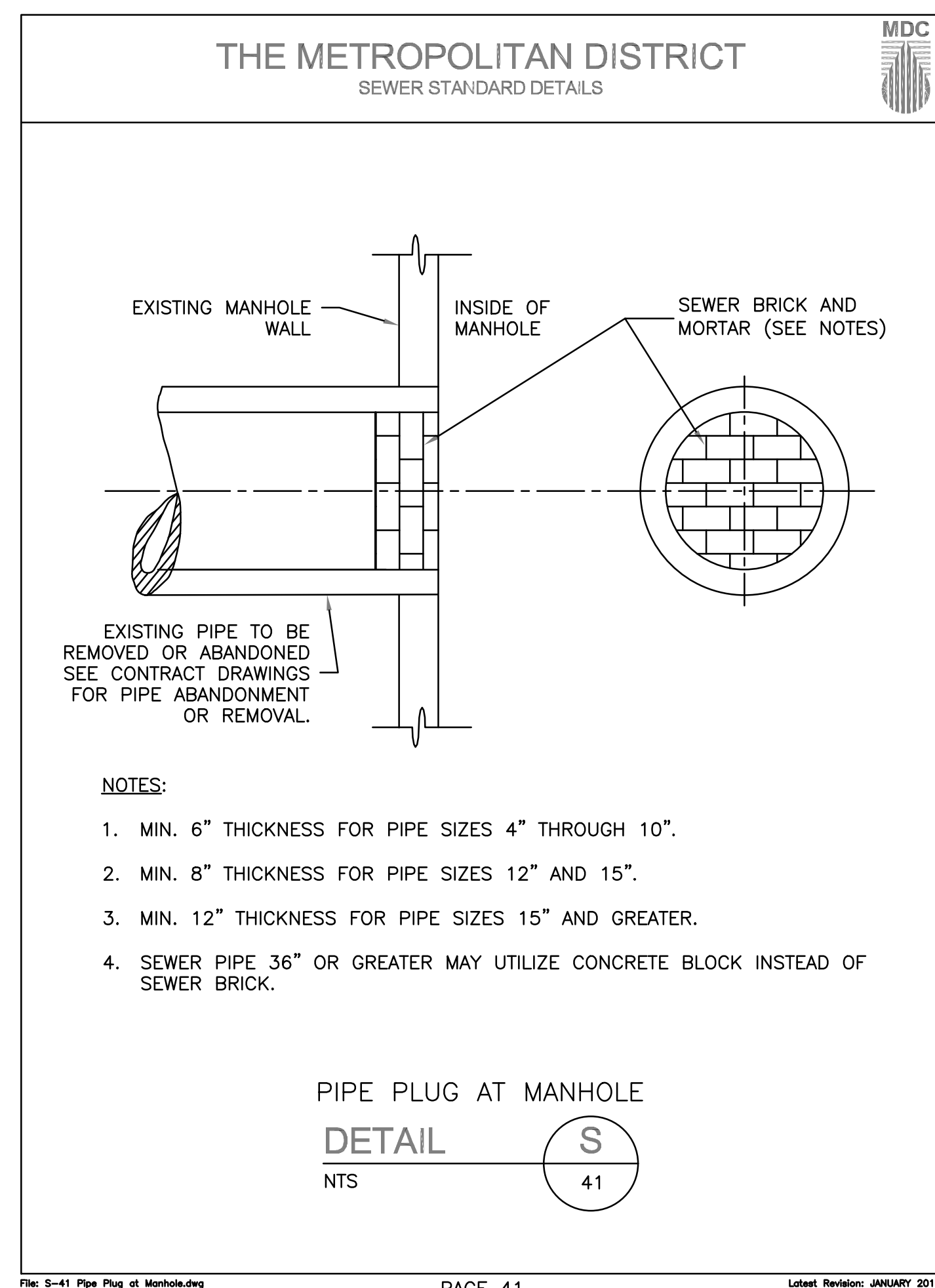
STRAW WATTLE
NO SCALE



6' TEMPORARY CHAIN LINK CONSTRUCTION GATE
NO SCALE



6' TEMPORARY CHAIN LINK CONSTRUCTION FENCE
NO SCALE



NOTES

- PROCESSED AGGREGATE BASE GRADATION SHALL CONFORM WITH CTDOT, FORM 819, ARTICLE M.05.01-1. COARSE AGGREGATE SHALL CONFORM WITH CTDOT, FORM 819, ARTICLE M.05.01-2(a)(b). THE RECLAIMED MISCELLANEOUS AGGREGATE, ARTICLE M.05.01-2(c) IS NOT ACCEPTABLE.
- ALL BITUMINOUS CONCRETE, SUBBASE, AND LIQUID BITUMEN SHALL CONFORM TO THE MATERIALS, EQUIPMENT AND SPECIFICATION REQUIREMENTS IN CTDOT FROM 819, INCLUDING ALL ADDENDA.

ON-SITE BITUMINOUS CONCRETE PAVEMENT
NO SCALE

OWNER

The Town of East Hartford
740 Main Street
East Hartford CT 06108

ARCHITECT

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PROJECT NO.:
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SHEET TITLE

DETAILS

C301

This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Property Survey based on a First Survey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

This document and copies thereof are valid only if they bear the live signature and embossed seal of the designated professional. Unauthorized alterations render any declaration hereon null and void.

- Map References:**
- Property to be Acquired by United States Postal Service Silver Lane East Hartford, Conn Date 11-14-75 By Morton S. Fine and Associates;
 - Charter Oak Park Subdivision Map Property of A. D. Gosman East Hartford Conn. 4-27-72 Revised 7-10-75 By Igor Vechesloff;
 - Resubdivision of Lot #1 Charter Oak Park Subdivision Map Property of A. D. Gosman East Hartford Conn. 10-12-76 By Igor Vechesloff;
 - As-Built Survey Showing Boundary Easement & Entrance Driveways Plan Prepared For National Amusements Inc. East Hartford Connas 836 Silver Lane East Hartford Conn. 4-29-04 By J. R. Russo & Associates, LLC;

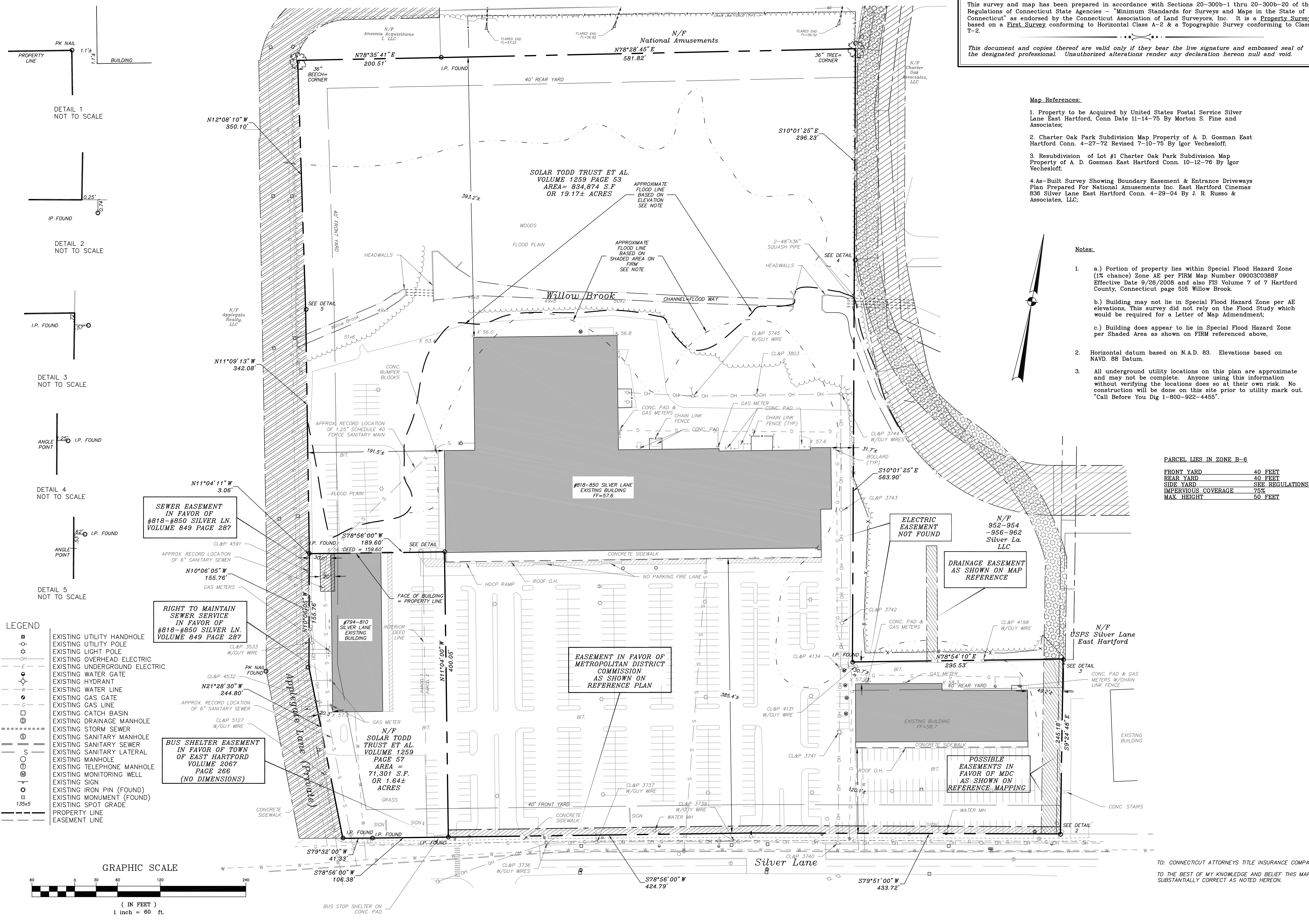
- Notes:**
- a.) Portion of property lies within Special Flood Hazard Zone (1% chance) Zone AE per FIRM Map Number 09003C0388F Effective Date 9/26/2008 and also FIS Volume 7 of 7 Hartford County, Connecticut page 516 Willow Brook.
 - b.) Building may not lie in Special Flood Hazard Zone per AE elevations. This survey did not rely on the Flood Study which would be required for a Letter of Map Amendment;
 - c.) Building does appear to lie in Special Flood Hazard Zone per Shaded Area as shown on FIRM referenced above.
- Horizontal datum based on N.A.D. 83. Elevations based on NAVD. 88 Datum.
 - All underground utility locations on this plan are approximate and may not be complete. Anyone using this information without verifying the locations does so at their own risk. No construction will be done on this site prior to utility mark out. "Call Before You Dig 1-800-922-4455".

PARCEL LIES IN ZONE B-6

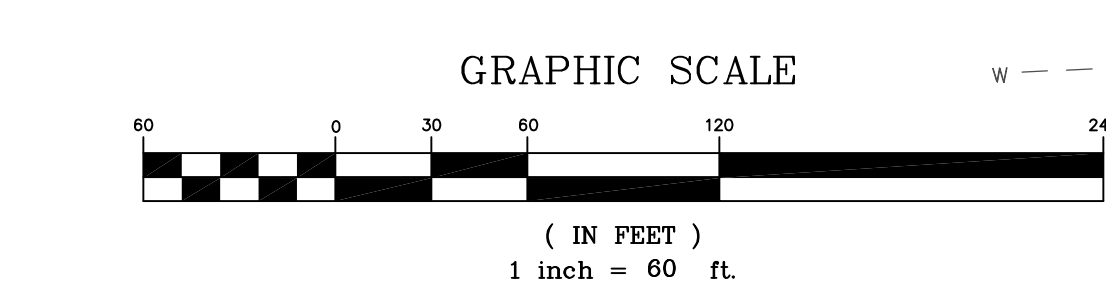
FRONT YARD	40 FEET
REAR YARD	40 FEET
SIDE YARD	SEE REGULATIONS
IMPERVIOUS COVERAGE	75%
MAX HEIGHT	50 FEET



JR Russo & Associates, LLC
SERVING CT & MA
130 Sherman Hill East Hartford, CT 06108
860.262.0699 - FAX 860.262.0695
www.jrrusso.com - info@jrrusso.com



- LEGEND**
- EXISTING UTILITY HANDHOLE
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING WATER GATE
 - EXISTING HYDRANT
 - EXISTING WATER LINE
 - EXISTING GAS GATE
 - EXISTING GAS LINE
 - EXISTING CATCH BASIN
 - EXISTING DRAINAGE MANHOLE
 - EXISTING STORM SEWER
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY SEWER
 - EXISTING SANITARY LATERAL
 - EXISTING MANHOLE
 - EXISTING TELEPHONE MANHOLE
 - EXISTING MONITORING WELL
 - EXISTING SIGN
 - EXISTING IRON PIN (FOUND)
 - EXISTING MONUMENT (FOUND)
 - EXISTING SPOT GRADE
 - PROPERTY LINE
 - EASEMENT LINE



REVISIONS

BY:	CHK:	DATE:
RS	JEU	

PLAN PREPARED FOR
LEON CHEN
#815-850 Silver Lane
East Hartford, Connecticut
TAX MAP 45 LOT 31

Boundary Survey

DATE
May 2, 2016

SCALE
1"=60'

JOB NUMBER
2016-035


SHEET
1 of 1

TO: CONNECTICUT ATTORNEYS TITLE INSURANCE COMPANY;
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



KEYNOTE	
F2.01	REMOVE ALL FOUNDATIONS & FTGS: ASSUME EXIST FOUNDATION WALLS: 12" THICK CONC WALLS ON 24"X12" CONT STRIP FTGS @ 4'-0" BELOW FIN GRADE
F2.04	EXIST FLR: ASSUME 4-5" THICK CONC SLAB ON 6" GRAVEL BASE.
F2.06	REMOVE INT TENANT DEMISING WALLS: ASSUME 8" CMU DEMISING WALL ON 16" W X 8" THICK CONC STRIP FTG BOT/FTG=-2'-0" BELOW FIN FLR.

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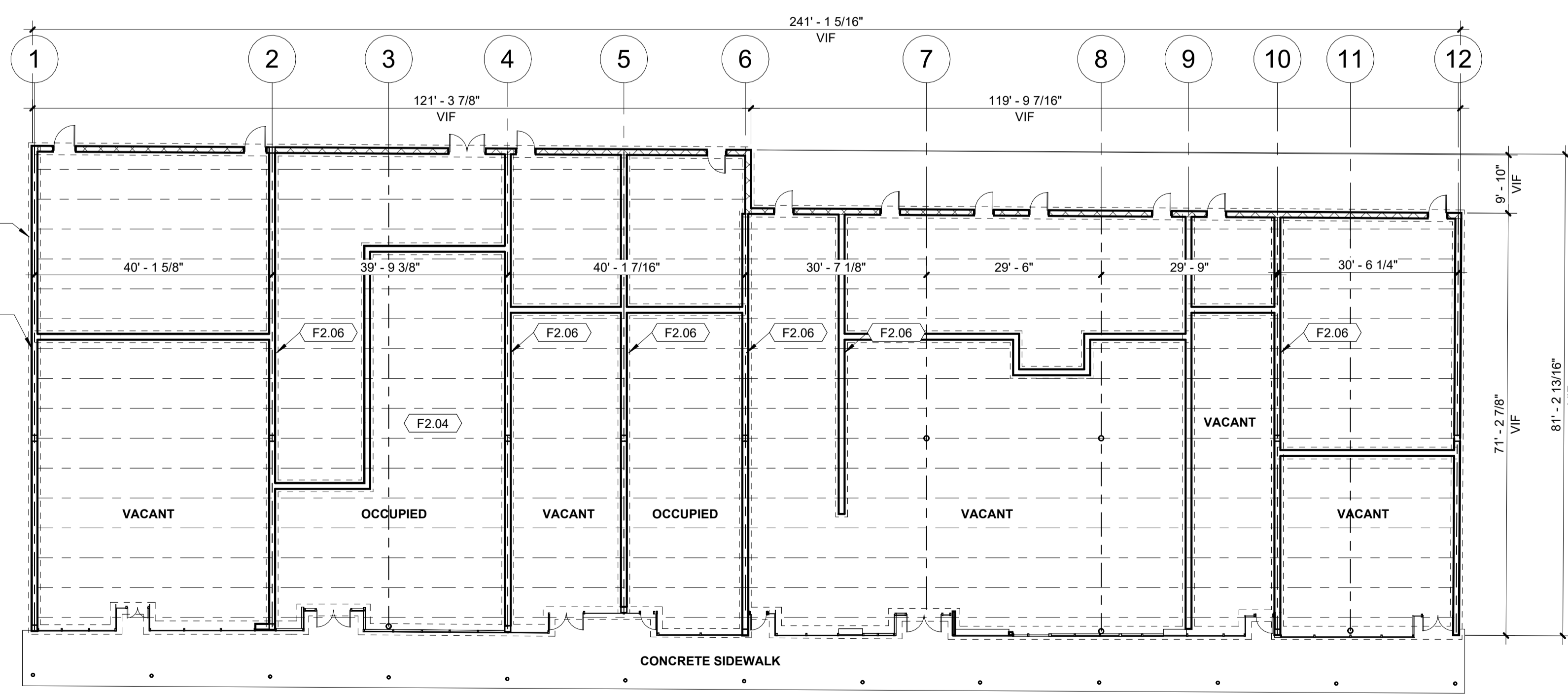
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SHEET TITLE
832-848 DEMO PLANS

AD111

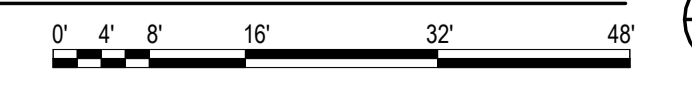
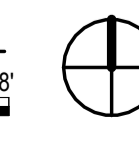
C5 ROOF - 832-848 SILVER LANE





A5 FIRST FLOOR - 832-848 SILVER LANE

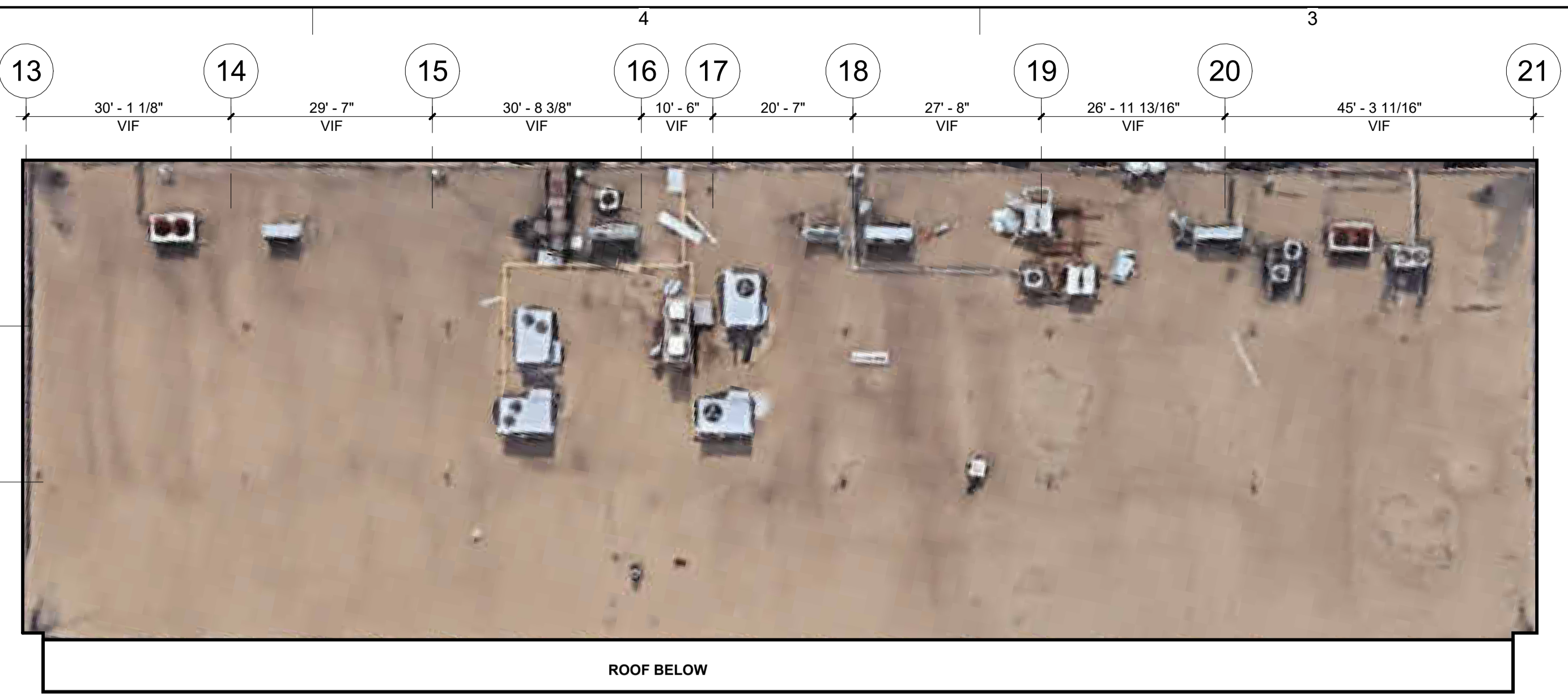
1/16" = 1'-0"


KEY PLAN


1" = 300'-0"





KEYNOTE	
F2.01	REMOVE ALL FOUNDATIONS & FTGS: ASSUME EXIST FOUNDATION WALLS: 12" THICK CONC WALLS ON 24"x12" CONT STRIP FTGS @ 4'-0" BELOW FIN GRADE
F2.05	ASSUME 5'X5'X1'-6" CONC FOOTING & 1'-6"X1'-6" CONC PIER BELOW EACH COLUMN. ASSUME BOTTOM FTG= 3'-6" BELOW FIN FLR.
F2.06	REMOVE INT TENANT DEMISING WALLS: ASSUME 8" CMU DEMISING WALL ON 16" W X 8" THICK CONC STRIP FTG BOT/FTG= -2'-0" BELOW FIN FLR.
F2.12	STAIRCASE TO SECOND FLOOR

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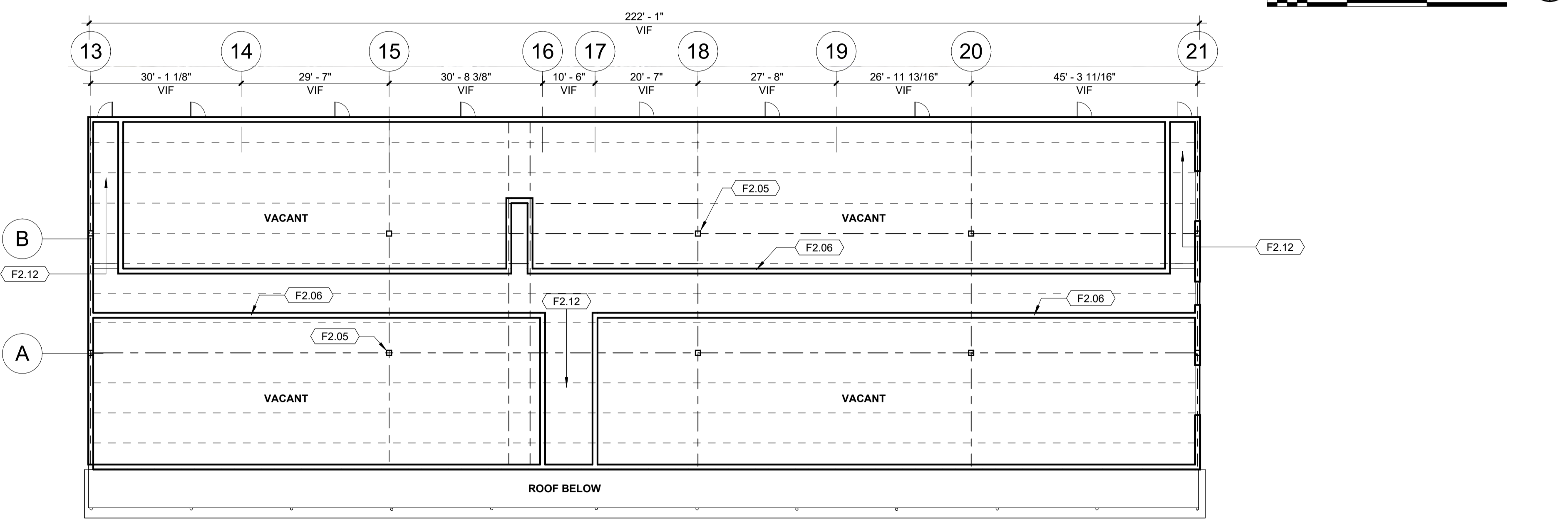
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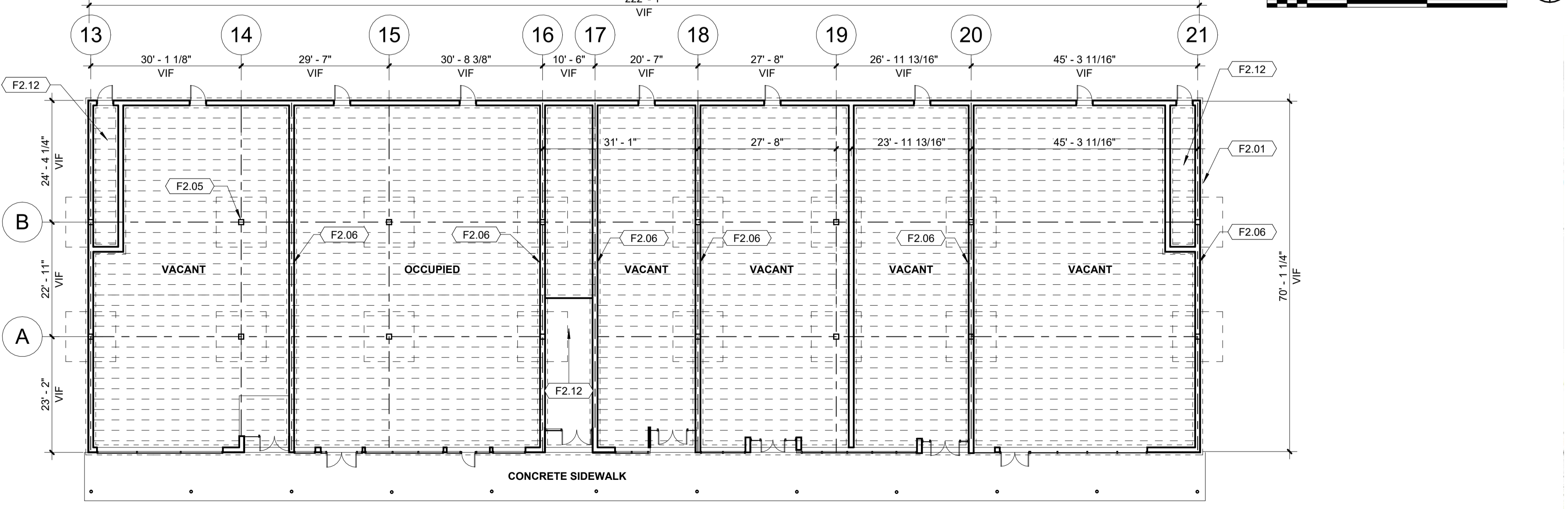
794-810 DEMO PLANS

AD112

C5 ROOF - 794-810 SILVER LANE
1/16" = 1'-0"



B5 SECOND - 794-810 SILVER LANE
1/16" = 1'-0"



A5 FIRST FLOOR - 794-810 SILVER LANE
1/16" = 1'-0"



KEY PLAN
1" = 300'-0"

5

4


3

2

1

KEYNOTE	
F2.01	REMOVE ALL FOUNDATIONS & FTGS; ASSUME EXIST FOUNDATION WALLS: 12" THICK CONG WALLS ON 24"x12" CONT STRIP FTGS @ 4'-0" BELOW FIN GRADE
F2.09	EXIST GLASS & ALUMN STOREFRONT SYSTEM
F2.11	EXISTING 12" CMU EXT WALLS

OWNER



The Town of East Hartford
740 Main Street
East Hartford CT 06108

CRDA | Capital Region
Development Authority

100 Columbus Blvd, Suite 500
Hartford CT 06103

ARCHITECT



CHRISTOPHER WILLIAMS ARCHITECTS, LLC
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CIVIL ENGINEERS



213 Court Street, Suite 1100
Middletown CT 06457



ISSUED FOR BIDDING

7/25/24

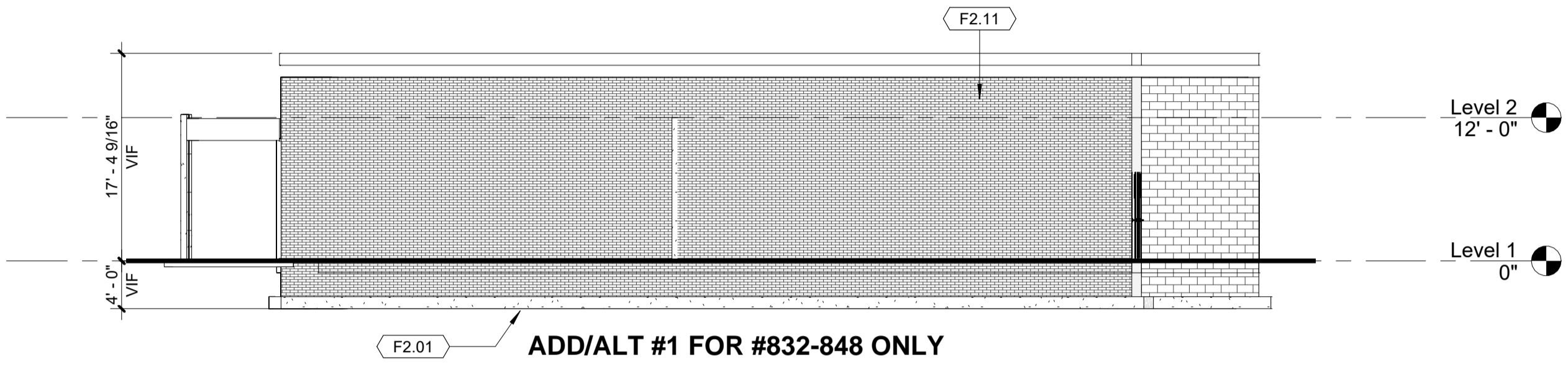
SILVER LANE PLAZA DEMOLITION
794-810 & 832-848 SILVER LANE -
PHASE 2
EAST HARTFORD CONNECTICUT
06118

MARK	DATE	DESCRIPTION
PROJECT NO.:	CWA PROJECT NO.: 2315	
DRAWN BY:		
CHK'D BY:		
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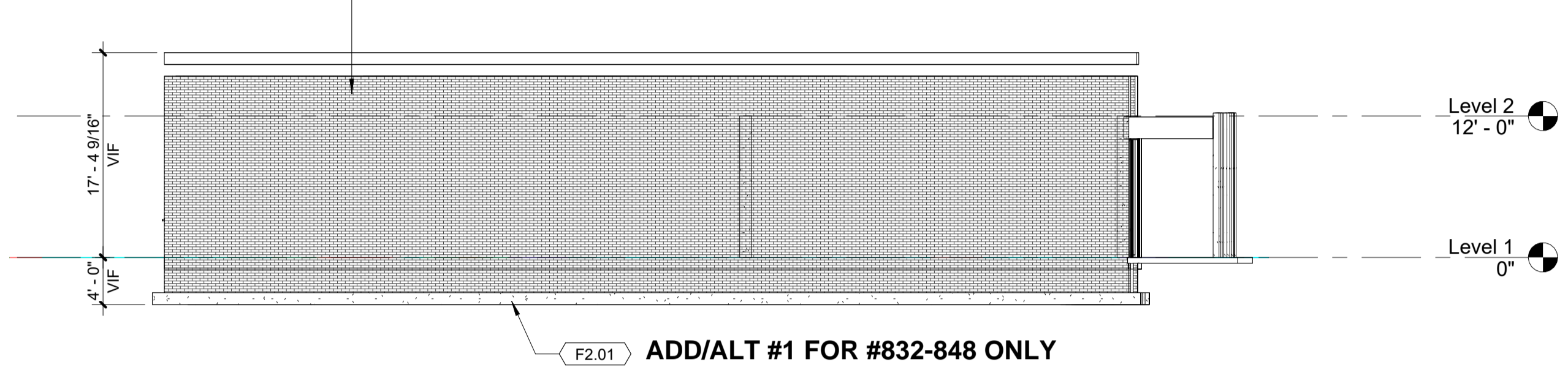
SHEET TITLE

832-848 ELEVATIONS

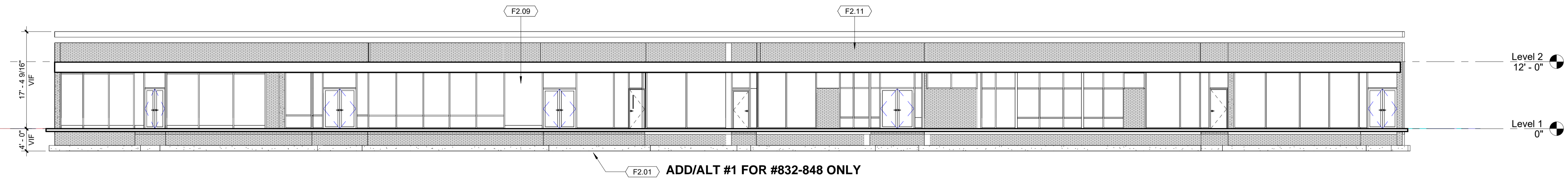
AD201




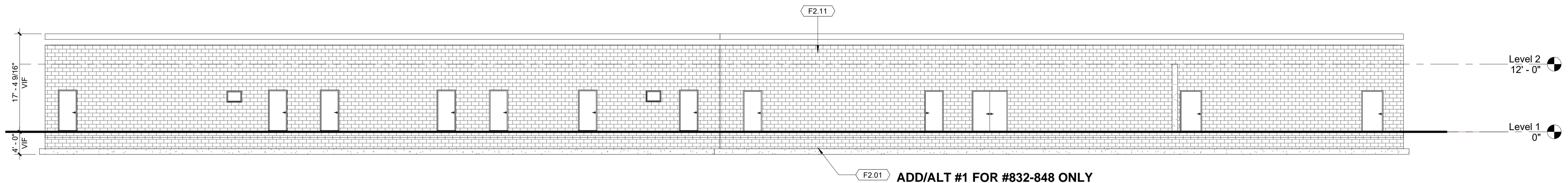
C5 EAST ELEVATION - 832-848 SILVER LANE
1" = 10'-0"


C3 WEST ELEVATION - 832-848 SILVER LANE
1" = 10'-0"

B5 SOUTH ELEVATION - 832-848 SILVER LANE
1" = 10'-0"

A5 NORTH ELEVATION - 832-848 SILVER LANE
1" = 10'-0"



5

4

3


2

1

5 4 3 2 1

KEYNOTE	
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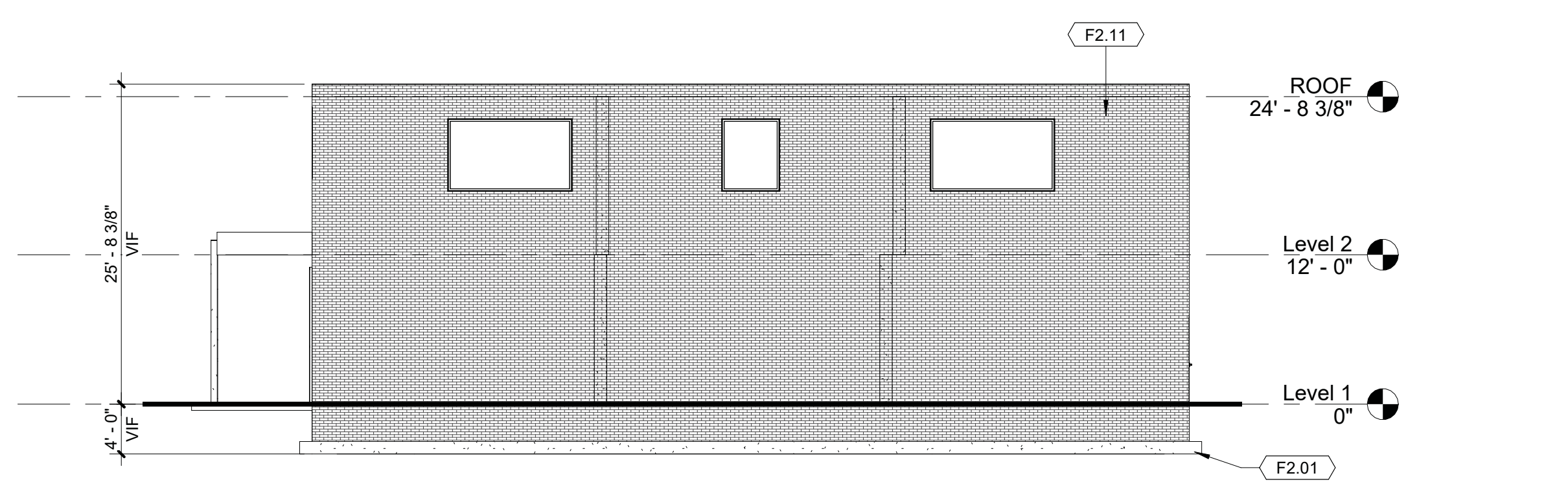
SILVER LANE PLAZA DEMOLITION
794-810 & 832-848 SILVER LANE -
PHASE 2
EAST HARTFORD CONNECTICUT
06118

MARK	DATE	DESCRIPTION
1	9.30.24	FOUNDATION, SOIL & SIGN NOTES

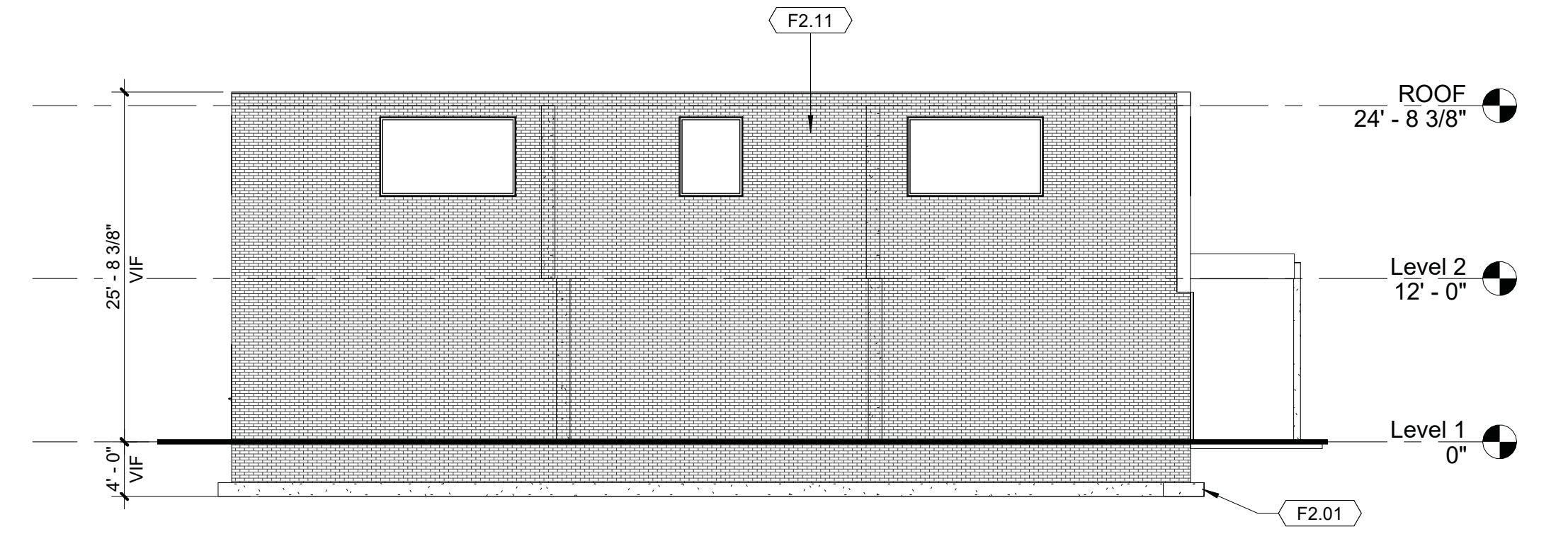
PROJECT NO: CWA PROJECT NO.: 2315
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SHEET TITLE
794-810 ELEVATIONS

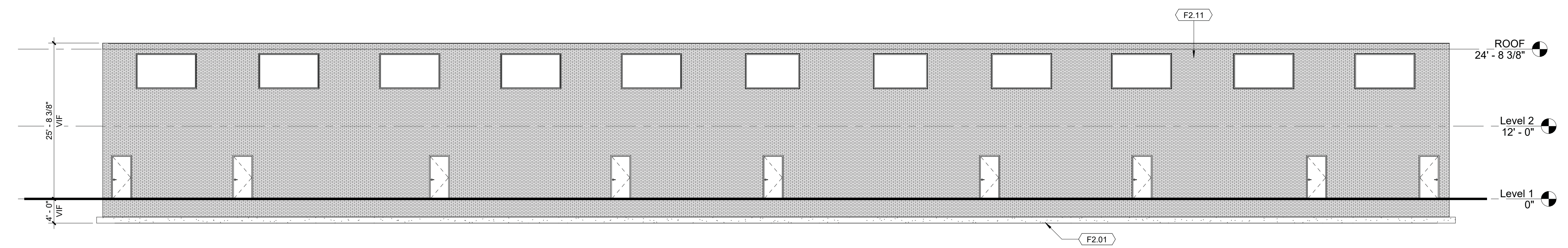
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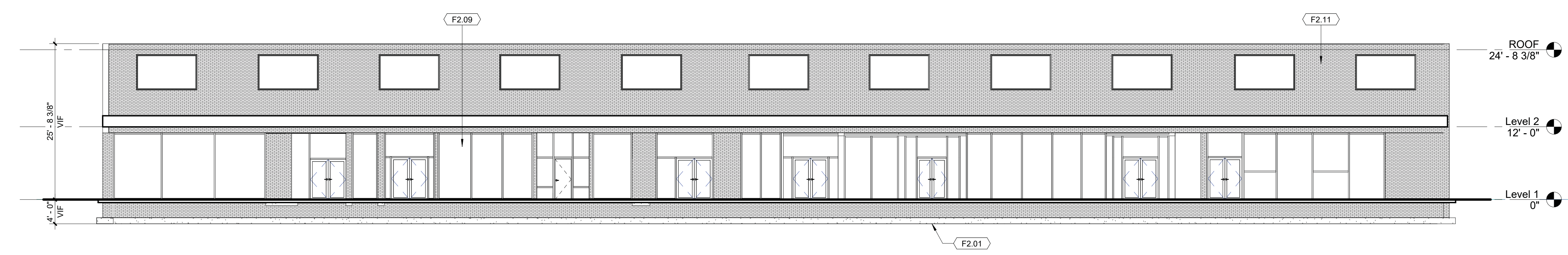
C4 NORTH ELEVATION - 794-810 SILVER LANE
1" = 10'-0"
0' 4' 8' 16' 24'



C3 SOUTH ELEVATION - 794-810 SILVER LANE
1" = 10'-0"
0' 4' 8' 16' 24'



B5 WEST ELEVATION - 794-810 SILVER LANE
1" = 10'-0"
0' 4' 8' 16' 24'



A5 EAST ELEVATION - 794-810 SILVER LANE
1" = 10'-0"
0' 4' 8' 16' 24'

5 4 3 2 1