

MCCARTIN CENTER

70 CANTERBURY ST
EAST HARTFORD, CT 06118

CWA PROJECT NO: 2311



CONSTRUCTION DOCUMENTS

10/31/23 REVISION 1-11/10/23



OWNER

CRDA Capital Region
Development Authority

100 Columbus Blvd, Suite 500
Hartford CT 06103

ARCHITECT

CWA

CHRISTOPHER WILLIAMS ARCHITECTS
85 Willow Street New Haven, CT 06511
203 776 0184 cwarchitectsllc.com



GENERAL NOTES

- RELATED DOCUMENTS: DRAWINGS, SPECIFICATIONS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 01 SPECIFICATION SECTIONS, APPLY TO THIS WORK.
- THE TERM CONTRACTOR, DEMOLITION CONTRACTOR AND BIDDER ARE USED INTERCHANGEABLY AND CARRY THE SAME MEANING.
- THE WORK OF THIS CONTRACT INCLUDES, BUT IS NOT LIMITED TO THE COMPLETE DEMOLITION, REMOVAL AND LEGAL DISPOSAL OF THE ENTIRE BUILDING, INCLUDING ALL UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS WHETHER OR NOT THEY ARE VISIBLE.
- IT IS THE INTENT OF THESE DOCUMENTS TO RESULT IN A COMPLETELY RESTORED SITE WITH NO REMAINING STRUCTURES OR SITE IMPROVEMENTS EXCEPT AS NOTED OTHERWISE. A PORTION OF THE ASPHALT CONCRETE PAVED PARKING LOT SHALL REMAIN AS INDICATED ON THE DRAWINGS.
- THE BUILDING PLANS INCLUDED HEREIN ARE BASED ON RECORD DOCUMENTS, INCLUDING ARCHIVE DRAWINGS OF THE ORIGINAL BUILDING AND SUBSEQUENT ADDITIONS, FURNISHED BY THE TOWN OF EAST HARTFORD, SUPPLEMENTED BY VISUAL FIELD OBSERVATIONS.
- IT IS THE RESPONSIBILITY OF EACH BIDDER TO REVIEW AND BECOME FAMILIAR WITH THE DRAWINGS, SPECIFICATIONS AND BID DOCUMENTS ASSOCIATED WITH THIS SCOPE OF WORK PRIOR TO THE SUBMISSION OF BIDS.
- IT IS ALSO THE RESPONSIBILITY OF EACH BIDDER TO BECOME THOROUGHLY FAMILIAR WITH ALL SITE AND BUILDING CONDITIONS BY VISITING, EXAMINING AND EVALUATING THE SITE AND BUILDING PRIOR TO SUBMITTING A BID.
- DURING THE BID PERIOD AND PRIOR TO THE BID DUE DATE, NOTIFY THE ARCHITECT / OWNER OF ANY OBSERVED DISCREPANCIES WITHIN THE BID DOCUMENTS OR BETWEEN THE BID DOCUMENTS AND ACTUAL SITE CONDITIONS. FAILURE BY THE BIDDER TO NOTIFY THE ARCHITECT/OWNER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE BID DOCUMENTS.
- AND IN FULL CONFORMANCE WITH LOCAL AND STATE REGULATIONS AND CODES.
- COMPLY WITH STATE AND LOCAL BUILDING AND DEMOLITION CODES.
- THE CONTRACTOR SHALL OBTAIN ALL THE REQUIRED PERMITS FROM THE TOWN OF EAST HARTFORD BEFORE COMMENCING WORK.
- COORDINATE WITH UTILITY PROVIDERS TO DISCONNECT WATER, ELECTRICITY, GAS, TELEPHONE, CABLE TV, SEWAGE, AND OTHER UTILITIES CONNECTED TO THE BUILDING OR POTENTIALLY CONNECTED TO THE BUILDING. DEMOLITION SHALL NOT BEGIN UNTIL ALL UTILITIES HAVE BEEN DISCONNECTED AND VERIFIED, IN WRITING, BY THE APPROPRIATE UTILITY PROVIDERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AND SHALL ENSURE THAT ALL DEBRIS AND DUST BE CONTAINED WITHIN THE BOUNDARIES OF THE PROPERTY.

DEMOLITION NOTES

- THE WORK OF THIS CONTRACT INCLUDES BUT IS NOT LIMITED TO THE DEMOLITION, REMOVAL AND LEGAL DISPOSAL AND/OR RECYCLING OF THE FOLLOWING:
 - THE ENTIRE BUILDING, INCLUDING BELOW GRADE FOUNDATIONS AND FOOTINGS.
 - BITUMINOUS CONCRETE PAVEMENT, CURBS AND GRAVEL BASE.
 - SITE SIGNAGE, INCLUDING ANY BURIED CONCRETE BASES AND POSTS.
 - UNLESS OTHERWISE INDICATED TO REMAIN, FENCES, GUARDRAILS, GATES, POSTS, BOLLARDS, AND ANY OTHER SITE IMPROVEMENTS.
 - METAL RAILINGS
 - DRAINAGE STRUCTURES AND DRAINAGE PIPING.
 - SITE STRUCTURES INCLUDING MANHOLES, CATCH BASINS, AREA DRAINS AND SIMILAR TYPE STRUCTURES.
 - SITE UTILITIES IDENTIFIED FOR REMOVAL AND/OR ABANDONMENT.
 - LANDSCAPE FEATURES DIRECTLY ADJACENT TO THE BUILDING. REFER TO THE DRAWINGS FOR LANDSCAPE FEATURES TO REMAIN AND BE PROTECTED.
 - TRANSFER FORMERS AND CONCRETE BASES AND FOOTINGS.
- UPON THE COMPLETION OF DEMOLITION AND REMOVALS, THE SCOPE OF WORK INCLUDES COMPLETE SITE RESTORATION AND STABILIZATION.
- PROTECT ALL EXISTING IMPROVEMENTS, LANDSCAPING, ETC. OUTSIDE THE PROJECT LIMIT LINE AND RESTORE ANY ITEMS DAMAGED IN THE EXECUTION OF THIS WORK TO THE EXISTING CONDITION.
- SAWCUT EXISTING PAVEMENT AS INDICATED ON THE CONTRACT DRAWINGS AT ALL LOCATIONS WHERE THE PAVEMENT AND OR CONCRETE WALKS ARE TO REMAIN. PROTECT AND REINFORCE SAWCUT EDGE WITH COMPACTED SOIL TO AVOID EROSION OR THE COLLAPSE OF THE EXISTING PAVEMENT TO REMAIN.
- PROTECT ALL SIDEWALKS, APRONS, CURBING, BITUMINOUS CONCRETE PAVEMENT, PEDESTRIAN RAMPS, DRAINAGE STRUCTURES, MANHOLES, PIPING, ETC., OUTSIDE PROJECT LIMIT LINE, AND WITHIN THE TOWN RIGHT-OF-WAY.
- PROVIDE ALL CONSTRUCTION SIGNAGE, TEMPORARY FENCING, BARRIERS, AND TEMPORARY CONTROLS NECESSARY TO COMPLETE DEMOLITION AND SITE RESTORATION. MAINTAIN THROUGHOUT THE DURATION OF THE PROJECT.
- PROVIDE ALL NECESSARY EROSION AND SEDIMENT CONTROL MEASURES, WHETHER OR NOT INDICATED ON THE EROSION CONTROL PLAN. MAINTAIN THROUGHOUT CONSTRUCTION. DO NOT REMOVE UNTIL THE SITE IS COMPLETELY STABILIZED AND ACCEPTED BY THE OWNER/ARCHITECT. REFER TO THE HAZ-MAT REPORT AND REMEDIATION SPECIFICATIONS. COORDINATE THIS WORK ACCORDINGLY. DO NOT COMMENCE NON-HAZ MAT DEMOLITION AND REMOVALS UNTIL HAZ MAT WORK IS COMPLETED. UNLESS DEMOLITION AND REMOVALS OF NON HAZ MAT MATERIALS IS NECESSARY TO ACCESS HAZ-MAT MATERIALS.
- COORDINATE WITH THE OWNER'S HAZ MAT CONSULTANT, INCLUDING REQUIRED POST-ABATEMENT ENVIRONMENTAL CLEARANCES.
- IF ABATEMENT IS TO BE COMPLETED UNDER A SEPARATE CONTRACT BY THE OWNER, COORDINATE AND COOPERATE WITH THE OWNER'S CONTRACTOR.
- BEFORE COMMENCING WITH ANY SITE DISTURBANCE, COMPLETE ALL PEST CONTROL MEASURES. MAINTAIN PEST CONTROL MEASURES AS REQUIRED THROUGHOUT THE DEMOLITION PROCESS.
- THE REPROCESSING OF MATERIALS ON SITE IS STRICTLY PROHIBITED. THIS INCLUDES BUT IS NOT LIMITED TO CRUSHING OF CONCRETE, ASPHALT, CONSTRUCTION DEBRIS, AND STONE.
- NOISE CONTROL: COMPLY WITH THE NOISE LEVEL RESTRICTIONS IMPOSED BY THE TOWN. REFER TO THE TO ARTICLE 7. CONTROL OF NOISE POLLUTION EMITTED BY SOUND AMPLIFYING EQUIPMENT: THE RESTRICTIONS FOR SOUND AMPLIFYING EQUIPMENT SHALL APPLY HEREIN.

UTILITY DEMOLITION NOTES

- THE SCOPE OF THIS WORK INCLUDES CUTTING, CAPPING, REMOVAL AND ABANDONMENT OF ALL UTILITY SERVICES SERVING THE BUILDING.
- ABANDONMENT IS ONLY ACCEPTABLE WHERE ON-SITE PAVEMENT IS TO REMAIN. COMPLETE REMOVAL AND DISPOSAL OF UTILITIES IS OTHERWISE REQUIRED.
- CUTTING AND CAPPING UTILITIES AT THE POINT OF SERVICE, WITHIN THE ROW SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE APPLICABLE UTILITY PROVIDERS. CUTTING AND CAPPING SHALL OCCUR AT THE POINT OF CONNECTION. PROVIDE TEMPORARY AND PERMANENT PAVEMENT PATCHING.
- VERIFY ALL EXISTING BURIED UTILITIES BEFORE PROCEEDING. THE CONTRACTOR SHALL ENGAGE AN UNDERGROUND UTILITY LOCATOR SERVICE TO VERIFY THE EXACT LOCATIONS OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL SUPPLEMENT THE LOCATION SERVICES WITH HAND OR MACHINE DIGGING TO PRECISELY LOCATE UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL COORDINATE ALL BUILDING UTILITY SERVICES (WATER, SEWER, STORM, GAS, ELECTRIC, TEL-DATA, CATV) DISCONNECTION, REMOVAL AND ABANDONMENT REQUIREMENTS WITH THE RESPECTIVE UTILITY COMPANIES.
- UNLESS OTHERWISE INDICATED ON THE DRAWINGS, THE EXACT NUMBER AND LOCATIONS OF UTILITY SERVICE DISCONNECTIONS, REMOVALS AND ABANDONMENT SHALL BE CONFIRMED WITH THE APPLICABLE UTILITY COMPANIES AND/OR AGENCIES. THE ACTUAL LOCATIONS AND EXTENT OF THE UTILITIES SHOWN ON THE DRAWINGS SHALL BE A GUIDE ONLY.
- PROTECT ALL EXISTING STRUCTURES, SURFACE IMPROVEMENTS, LANDSCAPING, ETC. THAT SHALL REMAIN. RESTORE ANY ITEMS DAMAGED BY THIS WORK TO PRE CONSTRUCTION CONDITION.
- DEMOLITION OF UTILITIES, SYSTEMS AND RELATED STRUCTURES ARE INCLUDED BY NOT LIMITED TO THE FOLLOWING:
 - ABANDONED SEPTIC SYSTEM STRUCTURES. LEACHING FIELDS CAN BE ABANDONED IN PLACE.
 - SANITARY SEWER
 - STORM WATER SYSTEM
 - DOMESTIC WATER SERVICE
 - FIRE MAIN
 - GAS SERVICE
 - CABLE TV, OVERHEAD AND UNDERGROUND.
 - ELECTRICAL SERVICE, OVERHEAD AND UNDERGROUND
 - UTILITY POLES, REGARDLESS OF UTILITY COMPANY OWNERSHIP
 - SITE ELECTRICAL, UNDERGROUND AND OVERHEAD
 - TRANSFORMERS AND TRANSFORMER PADS AND FOUNDATIONS
- THE CONTRACTOR SHALL BACKFILL AND COMPACT ALL TRENCHES AND EXCAVATIONS RESULTING FROM THE UTILITY REMOVALS. THE BACKFILLING OF EXCAVATIONS UNDER UNPAVED AREAS ON SITE SHALL BE COMPACTED TO 90% MAXIMUM DENSITY. BACKFILL MATERIAL, UNLESS CHARACTERIZED AS HAZARDOUS, SHALL BE ON-SITE MATERIAL SUPPLEMENTED WITH CLEAN BORROWED FILL.
- EXCAVATIONS IN THE R.O.W SHALL BE WITH APPROVED STRUCTURAL FILL, COMPACTED TO 95% MAXIMUM DENSITY. PAVEMENT PATCH SHALL BE IN ACCORDANCE WITH THE TOWN OF EAST HARTFORD'S SPECIFICATIONS.

SHEET LIST

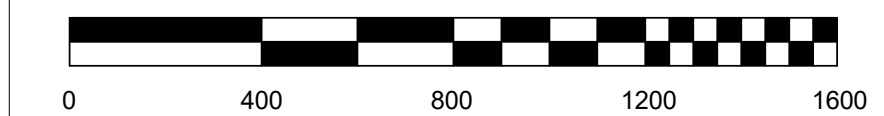
NO.	SHEET NAME	10/10/2023	11/10/23
A0	COVER SHEET	•	•
C101	SITE DEMOLITION & EROSION CONTROL	•	•
C201	SITE UTILITY PLAN	•	•
C202	SITE IMPROVEMENT PLAN	•	•
C501	SITE DETAILS	•	•
REF	SITE SURVEY MAP	•	•
AD101	EXISTING FIRST AND FOUNDATION PLAN	•	•
AD201	ELEVATION	•	•
AD202	EXISTING BLDG SECTIONS	•	•
AD401	WALL SECTIONS & STRUCT AXON	•	•

PROJECT NARRATIVE AND SEQUENCE

- PROJECT NARRATIVE
- THE ADDRESS OF THIS PROPERTY IS 70 CANTERBURY RD, EAST HARTFORD CT.
 - THE TOWN OF EAST HARTFORD IS PROPOSING TO DEMOLISH THE FORMER MCCARTIN SCHOOL, WHICH WAS MOST RECENTLY USED AS THE EAST HARTFORD SENIOR CENTER AND A NUMBER OF TENANCIES.
 - NO WORK IS PROPOSED IN THE AREA OF INLAND WETLANDS.
 - WORK WITHIN THE INLAND WETLANDS UPLAND REVIEW AREA SHALL BE APPROXIMATELY 20,451 SF.
 - ALL WORK WILL BE EXECUTED IN A SINGLE PHASE.
 - START: WINTER 2023, COMPLETION : SPRING 2024.
 - INCLUDED IN THE SCOPE OF WORK IS THE COMPLETE DEMOLITION OF THE BUILDING, IMPERVIOUS PARKING AND WALKS, AND SITE UTILITIES. THE WORK IS MORE PARTICULARLY DESCRIBED IN THESE DOCUMENTS. ALL DISTURBED AREAS OF THE SITE WILL BE GRADED TO ITS NATURAL GRADES WITH A MINIMUM OF 4" OF TOP SOIL AND GRASS SEED. EXISTING GRADES WILL BE MATCHED.
 - SOIL AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE CONNECTICUT DEEP'S 2002 CONNECTICUT GUIDELINES FOR SOIL AND EROSION AND SEDIMENT CONTROL.
- CONSTRUCTION SEQUENCE
- MARK OUT THE LIMITS AND (NOTIFY CALL BEFORE YOU DIG 1-800-922-4455
 - STAKE OUT WITH FLAGS AND WOODEN STAKES THE LIMITS OF DEMOLITION AND RELATED ACTIVITIES NECESSARY TO FACILITATE TO COMPLETE THE TASKS DEFINED IN THESE DOCUMENTS.
 - INSTALL ALL EROSION CONTROL MEASURES AS DEPICTED IN THESE PLANS.
 - INSTALL THE CONSTRUCTION ENTRANCE.
 - INSTALL CONSTRUCTION FENCE GATES AND TEMPORARY 6' HIGH CHAIN LINK FENCE. ESTABLISH STAGING AREAS FOR DEMOLITION DUMPSTERS AND EQUIPMENT.
 - COMPLETE ABATEMENT ACTIVITIES WITHIN AND ON THE BUILDING.
 - WITH THE ASSISTANCE AND COOPERATION OF THE TOWN AND RESPECTIVE UTILITY PROVIDERS, DISCONNECT/ABANDON ALL UTILITIES. APPLY FOR AND OBTAIN THE DEMOLITION PERMIT IN ACCORDANCE WITH STATE STATUTES.
 - DEMOLISH THE BUILDING STRUCTURE.
 - REMOVE FOUNDATIONS AND FOOTINGS.
 - REMOVE ACCESSIBLE DISCONNECTED UTILITIES.
 - BACKFILL AND SUITABLY COMPACT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, ALL EXCAVATIONS.
 - REMOVE SURFACE FEATURES AND PAVEMENTS, GRADING AND STABILIZING THE SITE AS THIS WORK PROGRESSES.
 - FINE GRADE, SEED AND MULCH ALL DISTURBED AREAS.
 - MAINTAIN TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DEMOLITION AND RESTORATION PROCESS.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES ONLY AFTER THE SITE IS COMPLETELY STABILIZED.



LOCATION PLAN



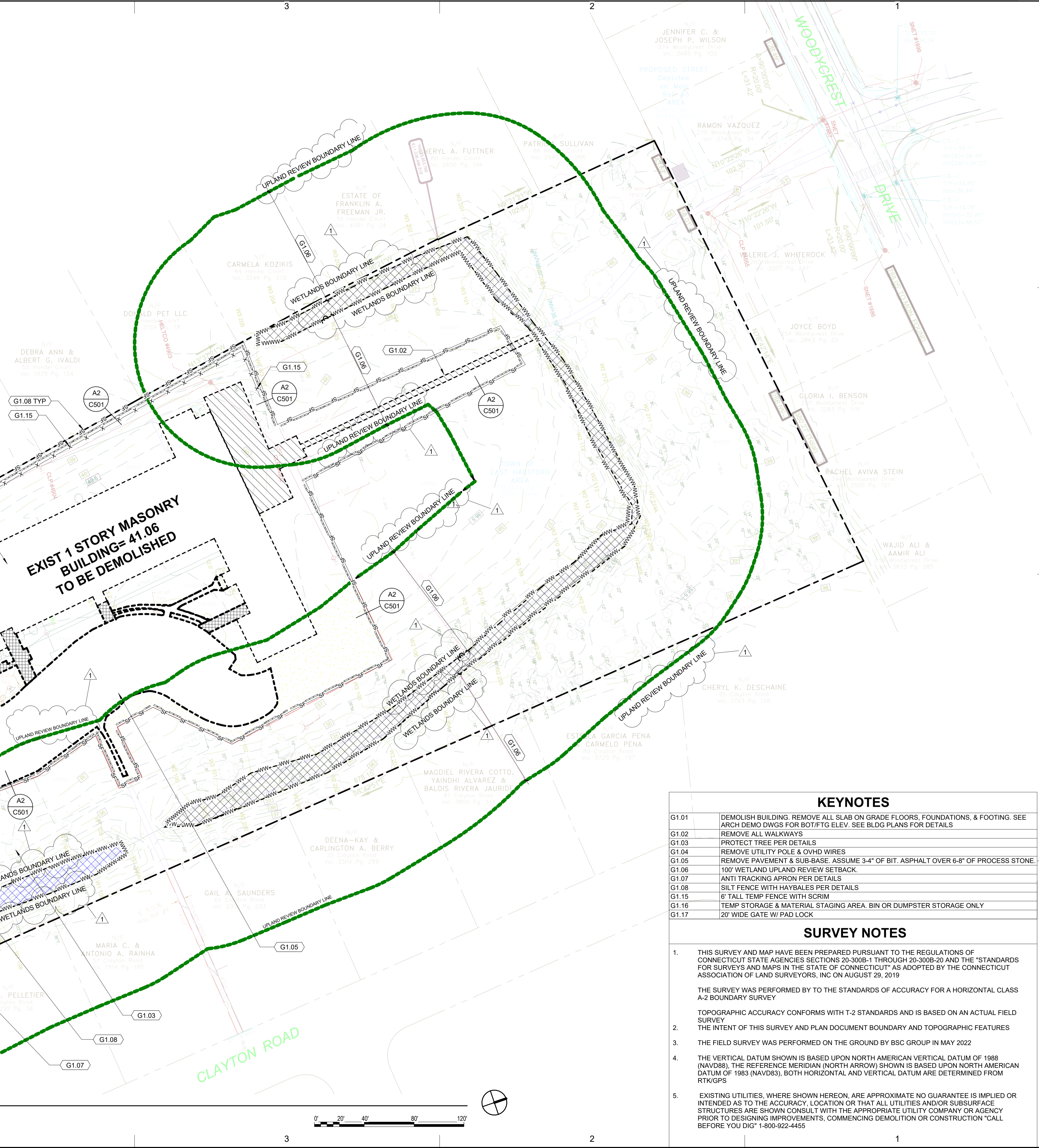
GRAPHIC LEGEND

	NATURAL GAS LINE
	GAS DEMO
	WATER LINE
	WATER LINE DEMO
	STORM DRAINAGE LINE
	STORM DRAINAGE DEMO
	SANITARY SEWER LINE
	SAN SEWER DEMO
	PROPERTY BOUNDARY
	ABUTTER PROPERTY BOUNDARY
	WETLANDS UPLAND REVIEW
	WATER/STREAM
	TREE LINE
	STONE WALL
	CHAINLINK FENCE
	STOCKADE FENCE
	TEMP CONST FENCE
	WOOD GUARDRAIL
	HAY BALES
	SILT FENCE
	ANTI TRACKING APRON
	BUILDING DEMOLISHED
	BIT PAVING DEMOLISHED
	CONC PAVING DEMOLISHED

DEMOLISHED UTILITY LINES ARE EITHER REMOVED OR ABANDONED
SEE DRAWING AND GENERAL NOTES

ABBREVIATIONS

	MONUMENT (MON)
	IRON PIN (IP)
	IRON ROD (IR)
	FLAG POLE (FP)
	MAILBOX
	SIGN
	UTILITY POLE
	UTILITY POLE WITH LIGHT
	CATCH BASIN (CB)
	SEWER MANHOLE
	DRAINAGE MANHOLE
	WATER MANHOLE
	OTHER MANHOLE (MH)
	WATER GATE VALVE (WG)
	GAS METER
	HYDRANT (HYD)
	WETLAND FLAG (WF)
N/F	NOW OR FORMERLY
CONC	CONCRETE
BIT	BITUMINOUS
AG	ABOVE GRADE
BG	BELOW GRADE
TF	TOP OF FRAME (ELEVATION)
INV	INVERT (ELEVATION)
RCP	REINFORCED CONCRETE PIPE
CI	CAST IRON PIPE
STKF	STOCKADE FENCE
CLF	CHAIN LINK FENCE
8" T.	8" TWIN-STEM TREE
8" M.	8" MULTI-STEM TREE



KEYNOTES

G1.01	DEMOLISH BUILDING. REMOVE ALL SLAB ON GRADE FLOORS, FOUNDATIONS, & FOOTING. SEE ARCH DEMO DWGS FOR BOT/FTG ELEV. SEE BLDG PLANS FOR DETAILS
G1.02	REMOVE ALL WALKWAYS
G1.03	PROTECT TREE PER DETAILS
G1.04	REMOVE UTILITY POLE & OVHD WIRES
G1.05	REMOVE PAVEMENT & SUB-BASE. ASSUME 3-4" OF BIT. ASPHALT OVER 6-8" OF PROCESS STONE.
G1.06	100' WETLAND UPLAND REVIEW SETBACK.
G1.07	ANTI TRACKING APRON PER DETAILS
G1.08	SILT FENCE WITH HAYBALES PER DETAILS
G1.15	6' TALL TEMP FENCE WITH SCRIM
G1.16	TEMP STORAGE & MATERIAL STAGING AREA. BIN OR DUMPSTER STORAGE ONLY
G1.17	20' WIDE GATE W/ PAD LOCK

SURVEY NOTES

- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC ON AUGUST 29, 2019

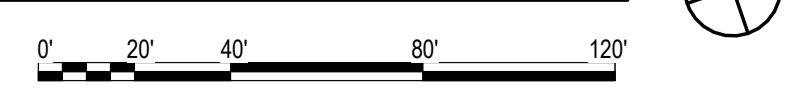
THE SURVEY WAS PERFORMED BY TO THE STANDARDS OF ACCURACY FOR A HORIZONTAL CLASS A-2 BOUNDARY SURVEY

TOPOGRAPHIC ACCURACY CONFORMS WITH T-2 STANDARDS AND IS BASED ON AN ACTUAL FIELD SURVEY

THE INTENT OF THIS SURVEY AND PLAN DOCUMENT BOUNDARY AND TOPOGRAPHIC FEATURES
- THE FIELD SURVEY WAS PERFORMED ON THE GROUND BY BSC GROUP IN MAY 2022
- THE VERTICAL DATUM SHOWN IS BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), THE REFERENCE MERIDIAN (NORTH ARROW) SHOWN IS BASED UPON NORTH AMERICAN DATUM OF 1983 (NAV83), BOTH HORIZONTAL AND VERTICAL DATUM ARE DETERMINED FROM RTK/GPS
- EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN CONSULT WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO DESIGNING IMPROVEMENTS, COMMENCING DEMOLITION OR CONSTRUCTION "CALL BEFORE YOU DIG" 1-800-922-4455

A5 SITE DEMOLITION AND EROSION CONTROL PLAN

1" = 40'-0"



OWNER
CRDA | Capital Region Development Authority

TOWN OF EAST HARTFORD, CONNECTICUT

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ENGINEERS
CIVIL ENGINEERS

STATE OF CONNECTICUT
CHRIS ROOPER WILSON
REGISTERED ARCHITECT

CONSTRUCTION DOCUMENTS
10/31/23 REVISION 1-11/10/23

MCCARTIN CENTER
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1	11/10/202	Inland Wetlands Comments
MARK	DATE	DESCRIPTION

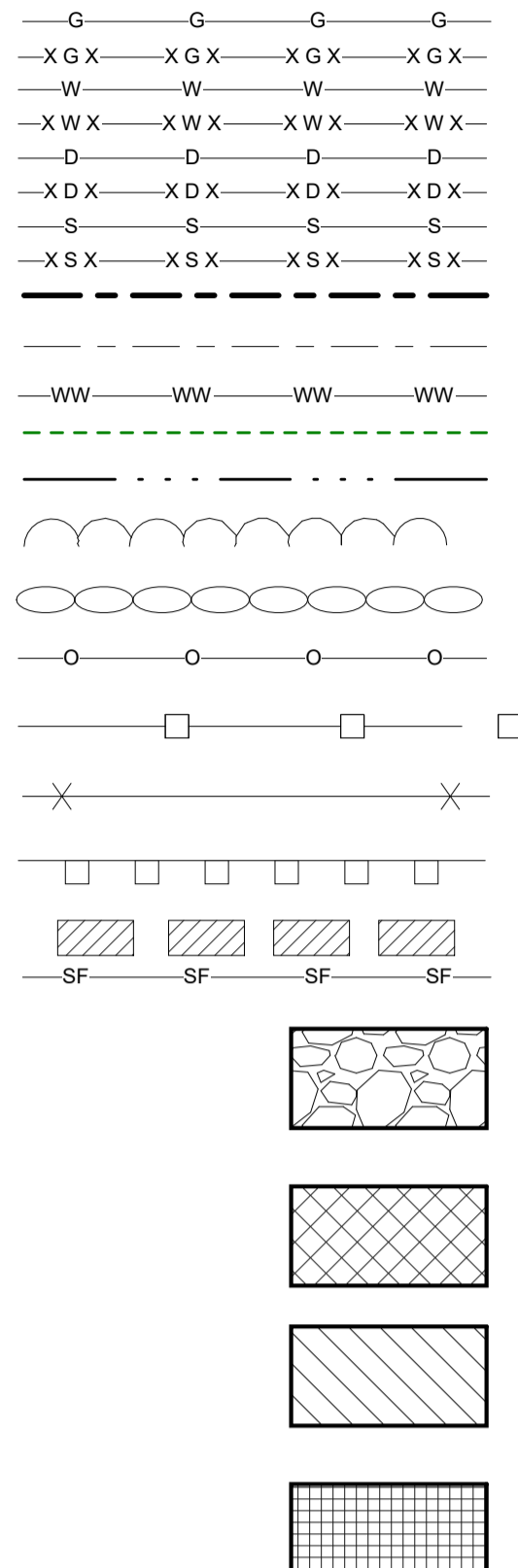
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SHEET TITLE
SITE DEMOLITION & EROSION CONTROL

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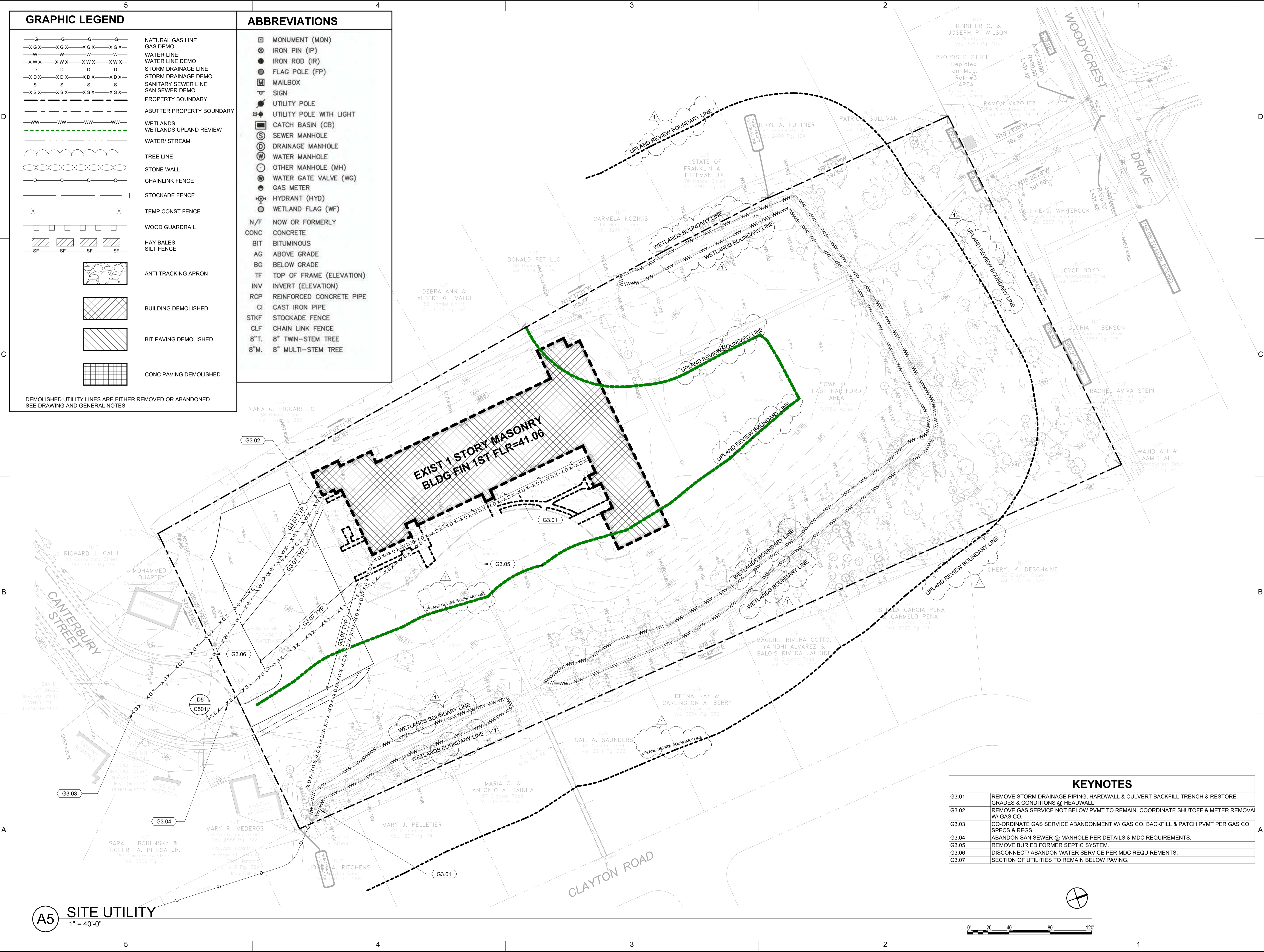
GRAPHIC LEGEND



ABBREVIATIONS

- MONUMENT (MON)
- IRON PIN (IP)
- IRON ROD (IR)
- FLAG POLE (FP)
- MAILBOX
- SIGN
- UTILITY POLE
- UTILITY POLE WITH LIGHT
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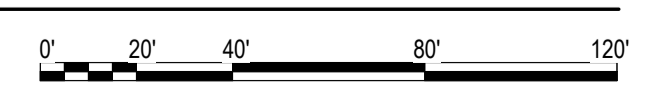
DEMOLISHED UTILITY LINES ARE EITHER REMOVED OR ABANDONED SEE DRAWING AND GENERAL NOTES



KEYNOTES

G3.01	REMOVE STORM DRAINAGE PIPING, HARDWALL & CULVERT BACKFILL TRENCH & RESTORE GRADES & CONDITIONS @ HEADWALL
G3.02	REMOVE GAS SERVICE NOT BELOW PVMT TO REMAIN. COORDINATE SHUTOFF & METER REMOVAL W/ GAS CO.
G3.03	CO-ORDINATE GAS SERVICE ABANDONMENT W/ GAS CO. BACKFILL & PATCH PVMT PER GAS CO. SPECS & REGS.
G3.04	ABANDON SAN SEWER @ MANHOLE PER DETAILS & MDC REQUIREMENTS.
G3.05	REMOVE BURIED FORMER SEPTIC SYSTEM.
G3.06	DISCONNECT/ABANDON WATER SERVICE PER MDC REQUIREMENTS.
G3.07	SECTION OF UTILITIES TO REMAIN BELOW PAVING.

A5 SITE UTILITY
1" = 40'-0"



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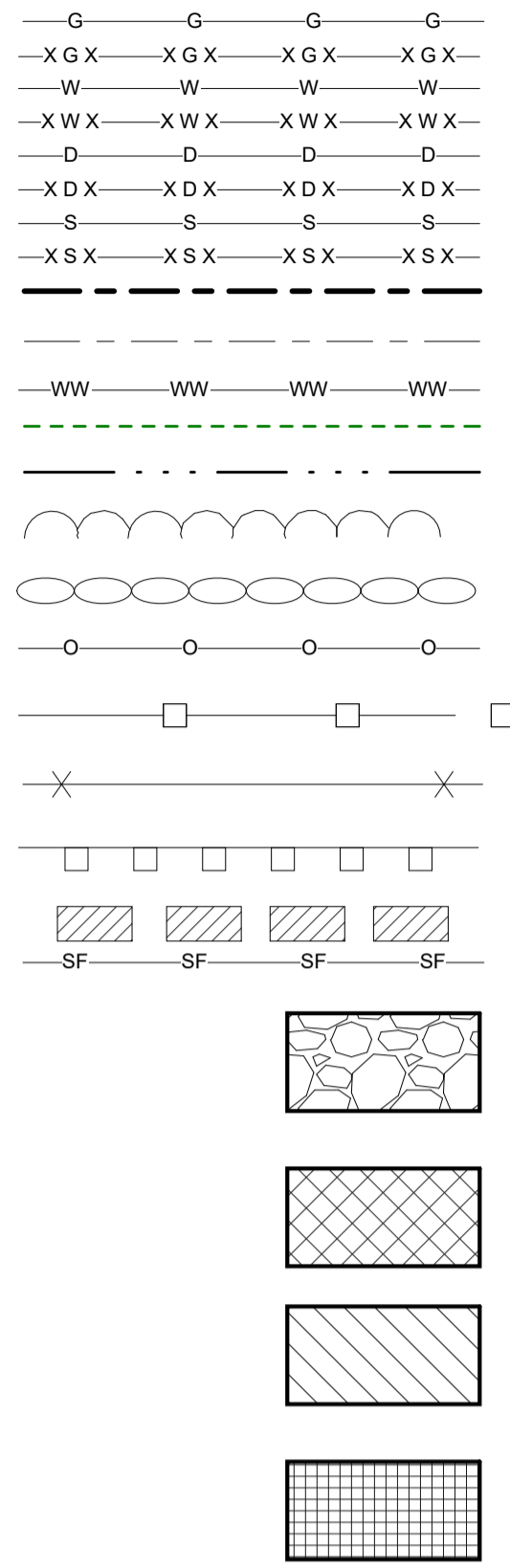
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SHEET TITLE
SITE UTILITY PLAN

C201

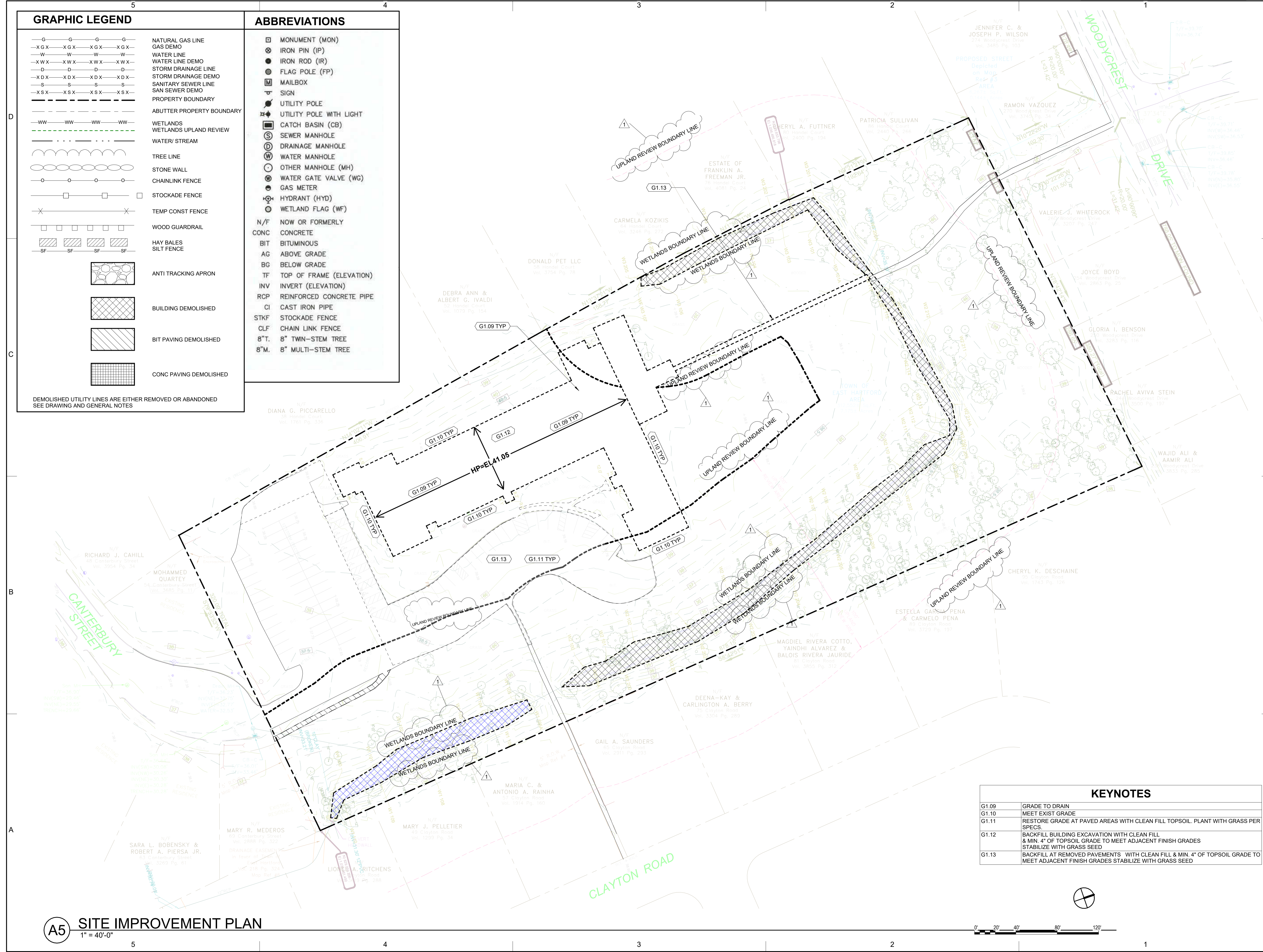
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- 8" M. 8" MULTI-STEM TREE

DEMOLISHED UTILITY LINES ARE EITHER REMOVED OR ABANDONED SEE DRAWING AND GENERAL NOTES



KEYNOTES	
KEYNOTE	DESCRIPTION
G1.09	GRADE TO DRAIN
G1.10	MEET EXIST GRADE
G1.11	RESTORE GRADE AT PAVED AREAS WITH CLEAN FILL TOPSOIL. PLANT WITH GRASS PER SPECS.
G1.12	BACKFILL BUILDING EXCAVATION WITH CLEAN FILL & MIN. 4" OF TOPSOIL GRADE TO MEET ADJACENT FINISH GRADES STABILIZE WITH GRASS SEED.
G1.13	BACKFILL AT REMOVED PAVEMENTS WITH CLEAN FILL & MIN. 4" OF TOPSOIL GRADE TO MEET ADJACENT FINISH GRADES STABILIZE WITH GRASS SEED.

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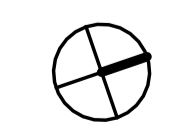
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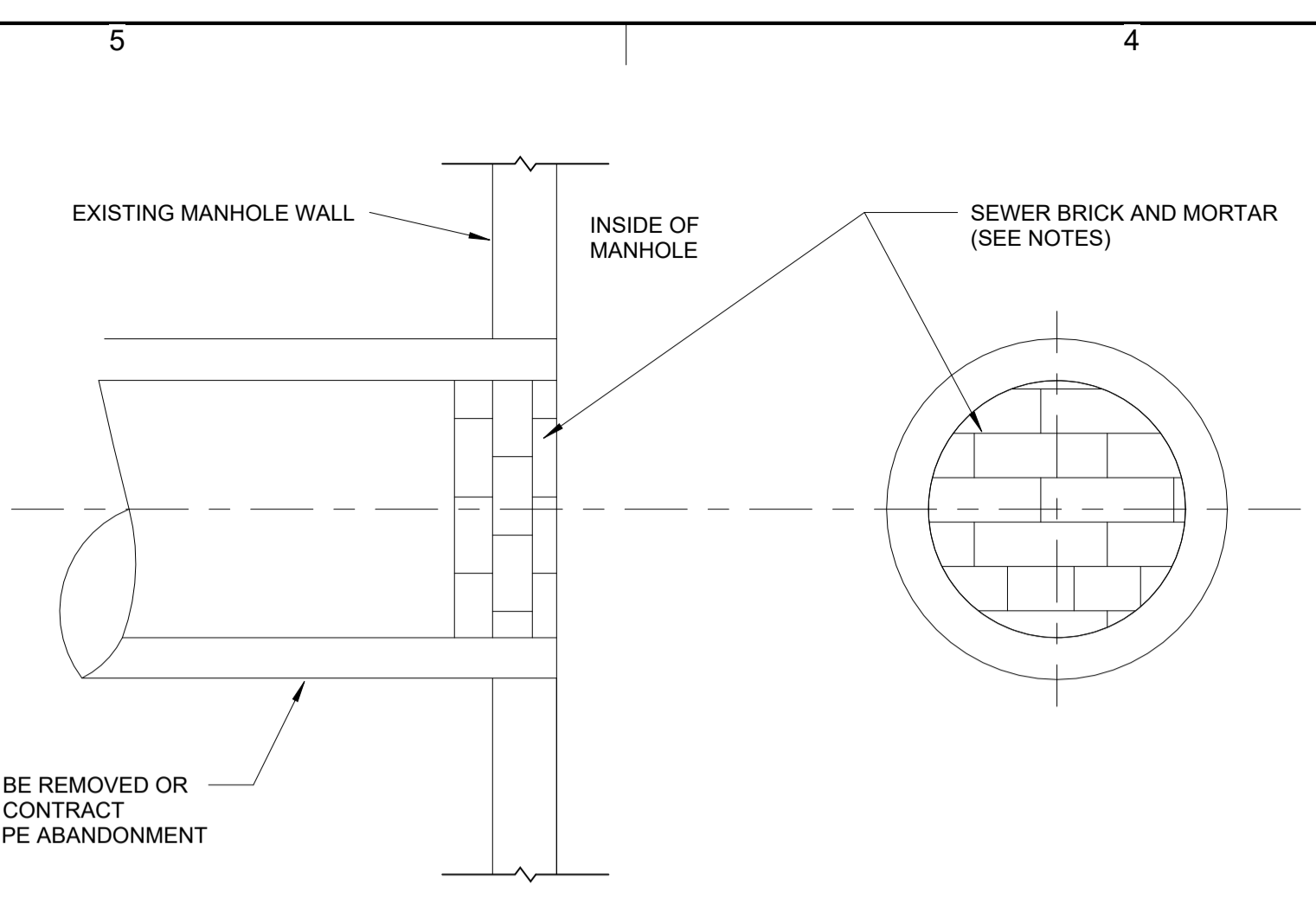
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SHEET TITLE
SITE IMPROVEMENT PLAN

C202

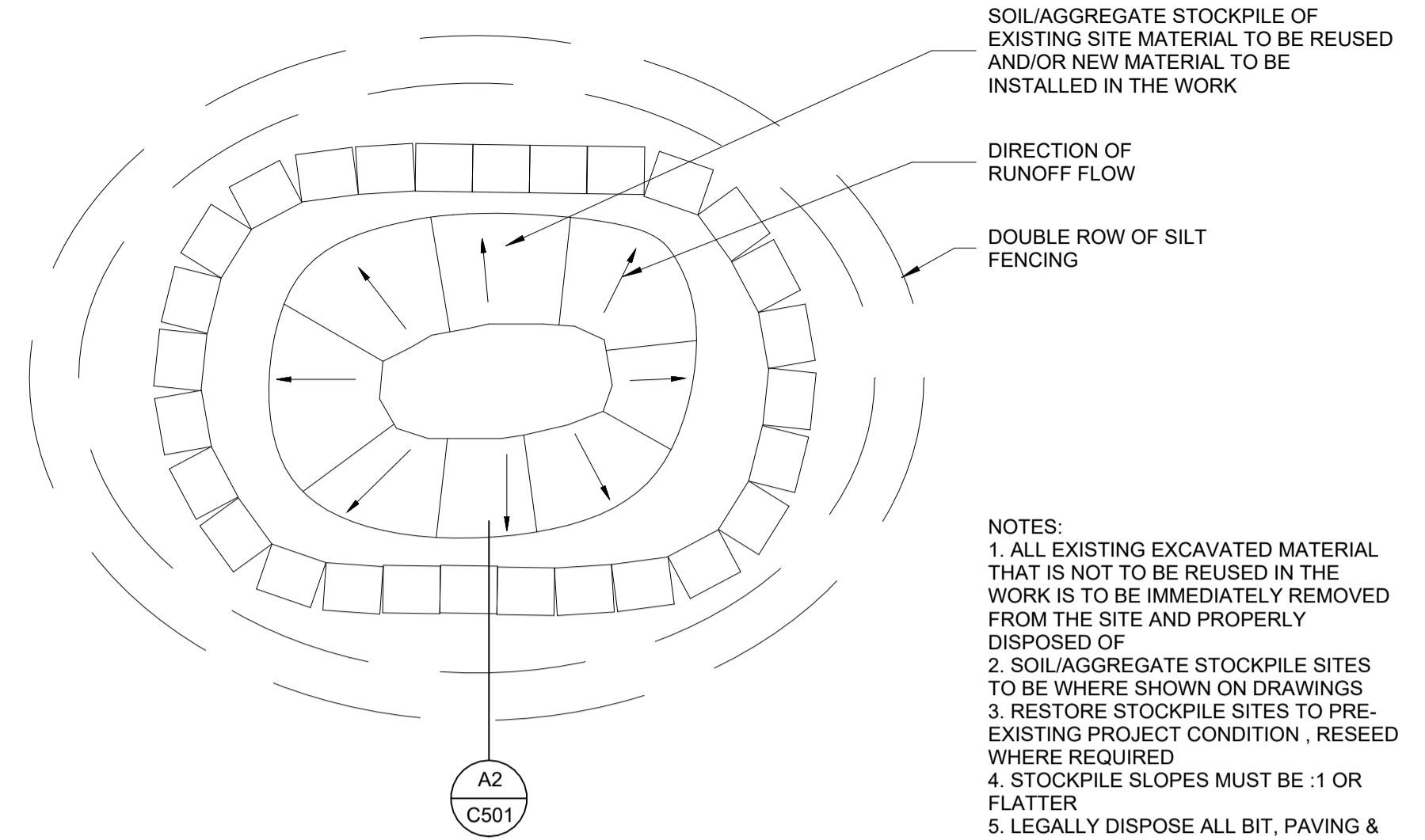
A5 SITE IMPROVEMENT PLAN
 1" = 40'-0"



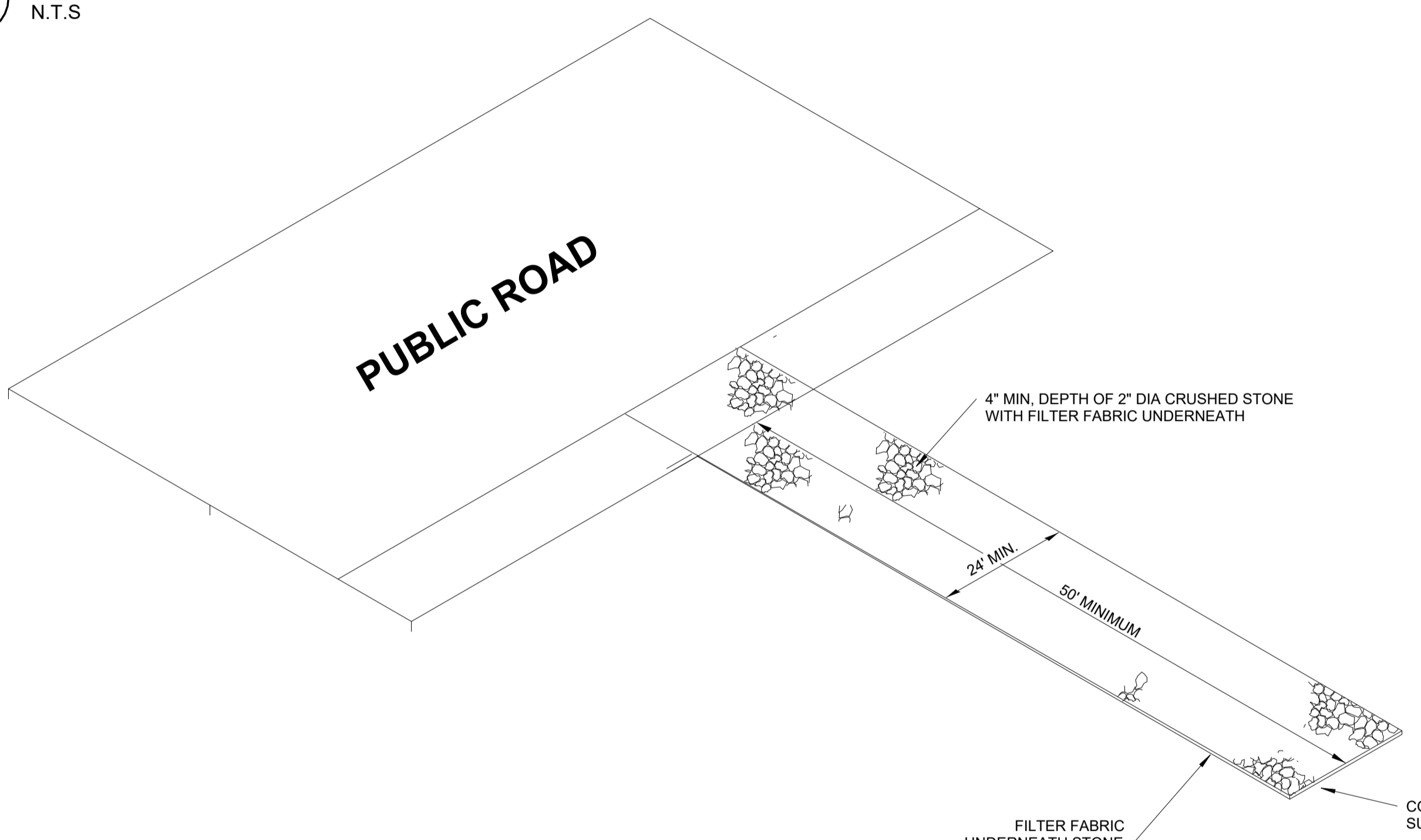


- NOTES:
1. MIN. 6" THICKNESS FOR PIPE SIZES 4" THROUGH 10".
 2. MIN. 8" THICKNESS FOR PIPE SIZES 12" AND 15".
 3. MIN. 12" THICKNESS FOR PIPE SIZES 15" AND GREATER.
 4. SEWER PIPE 36" OR GREATER MAY UTILIZE CONCRETE BLOCK INSTEAD OF SER BRICK.

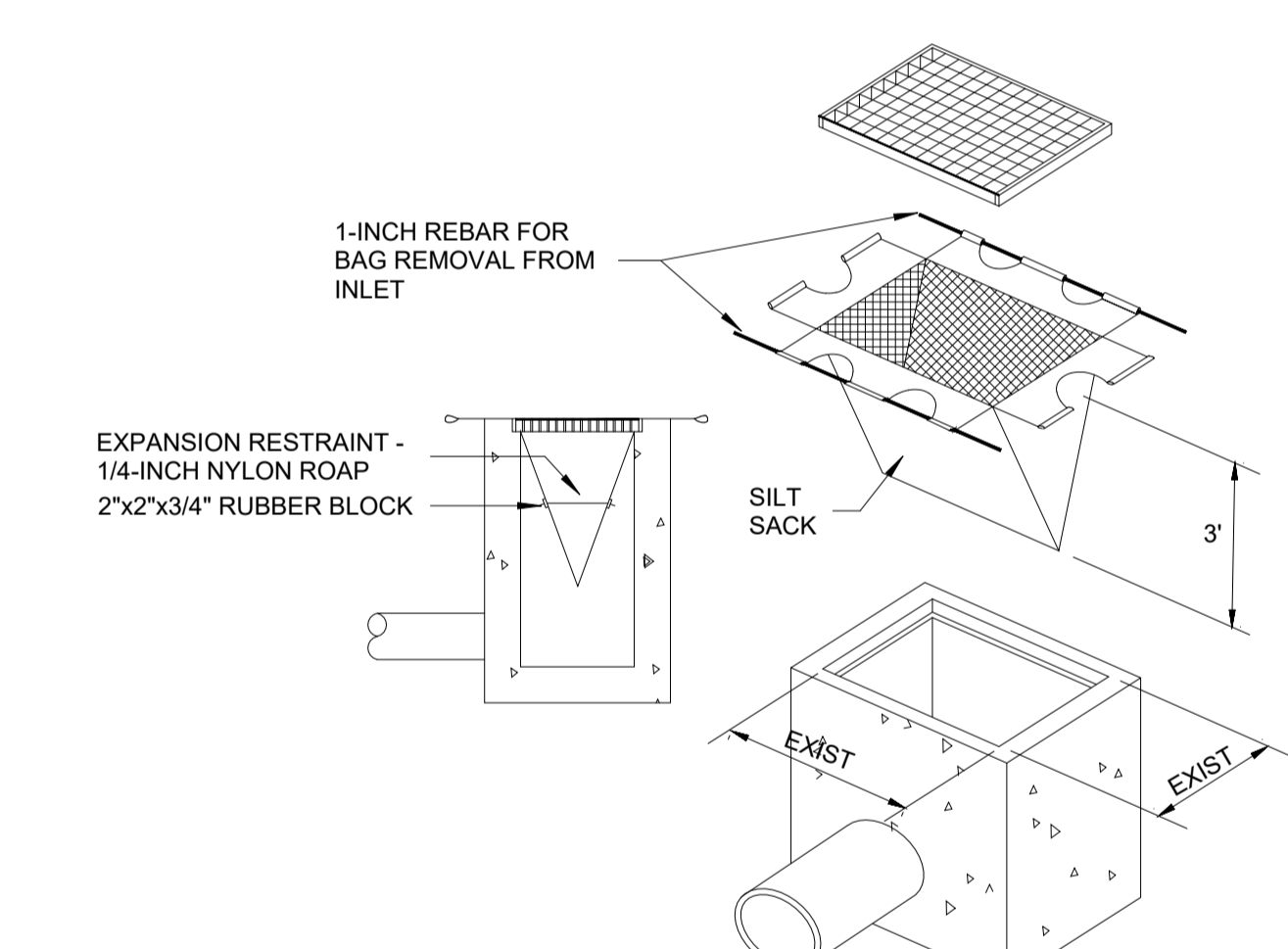
D5 PIPE PLUG AT MANHOLE
N.T.S



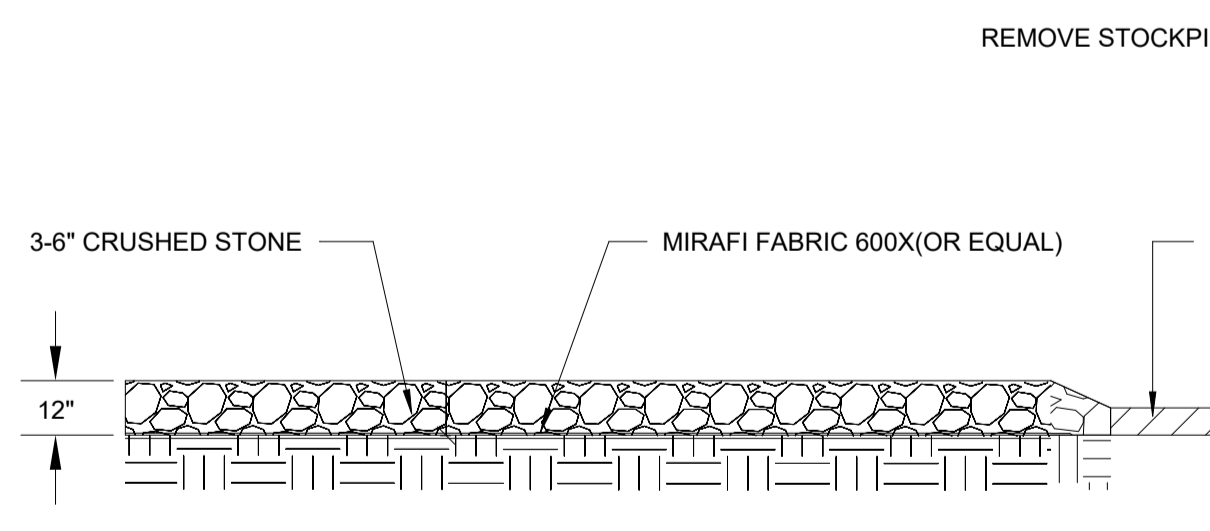
D3 SOIL STOCKPILE
N.T.S



B5 ANTI TRACKING
N.T.S



B3 INLET PROTECTION
N.T.S

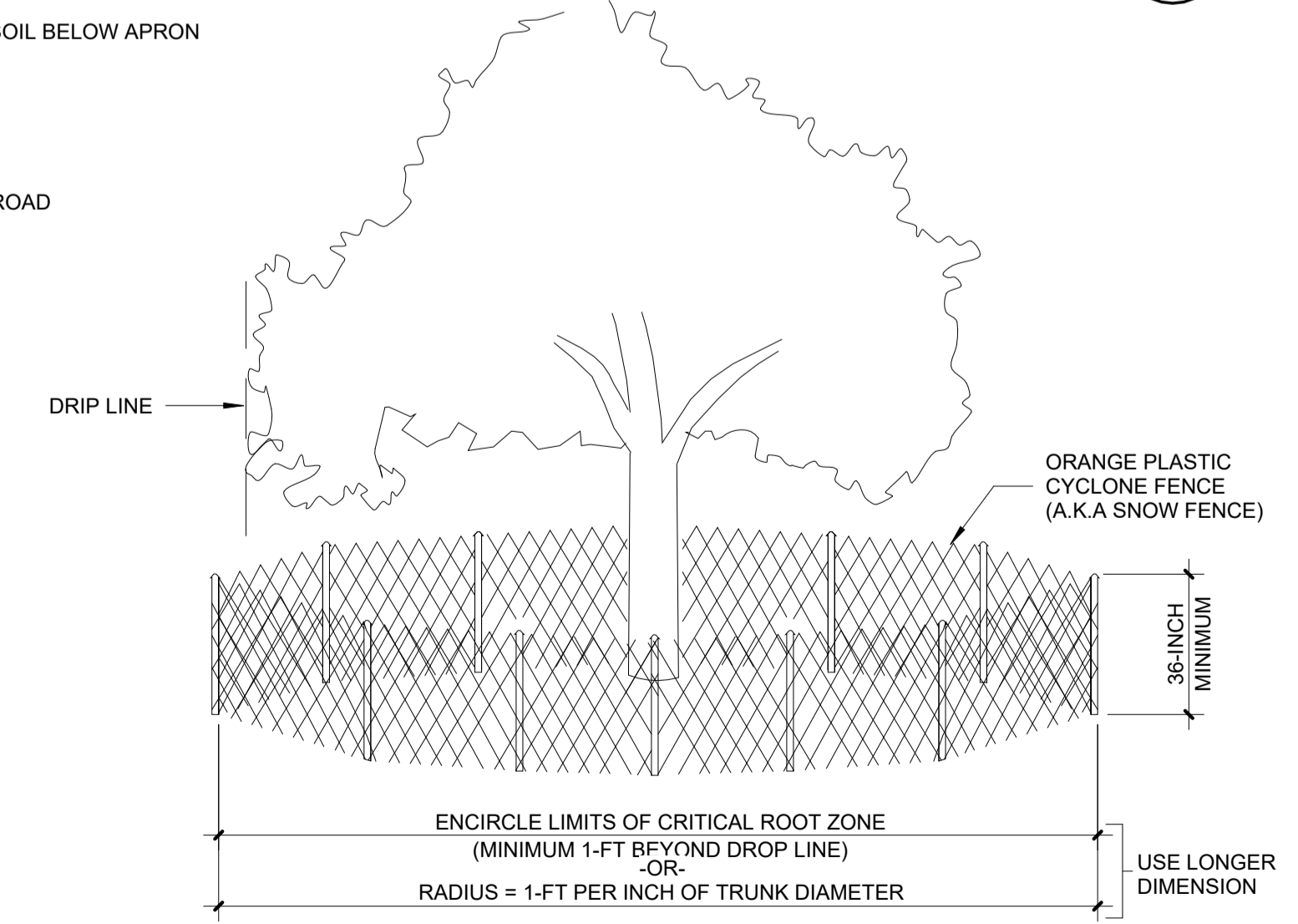


ANTI-TRACKING APRON

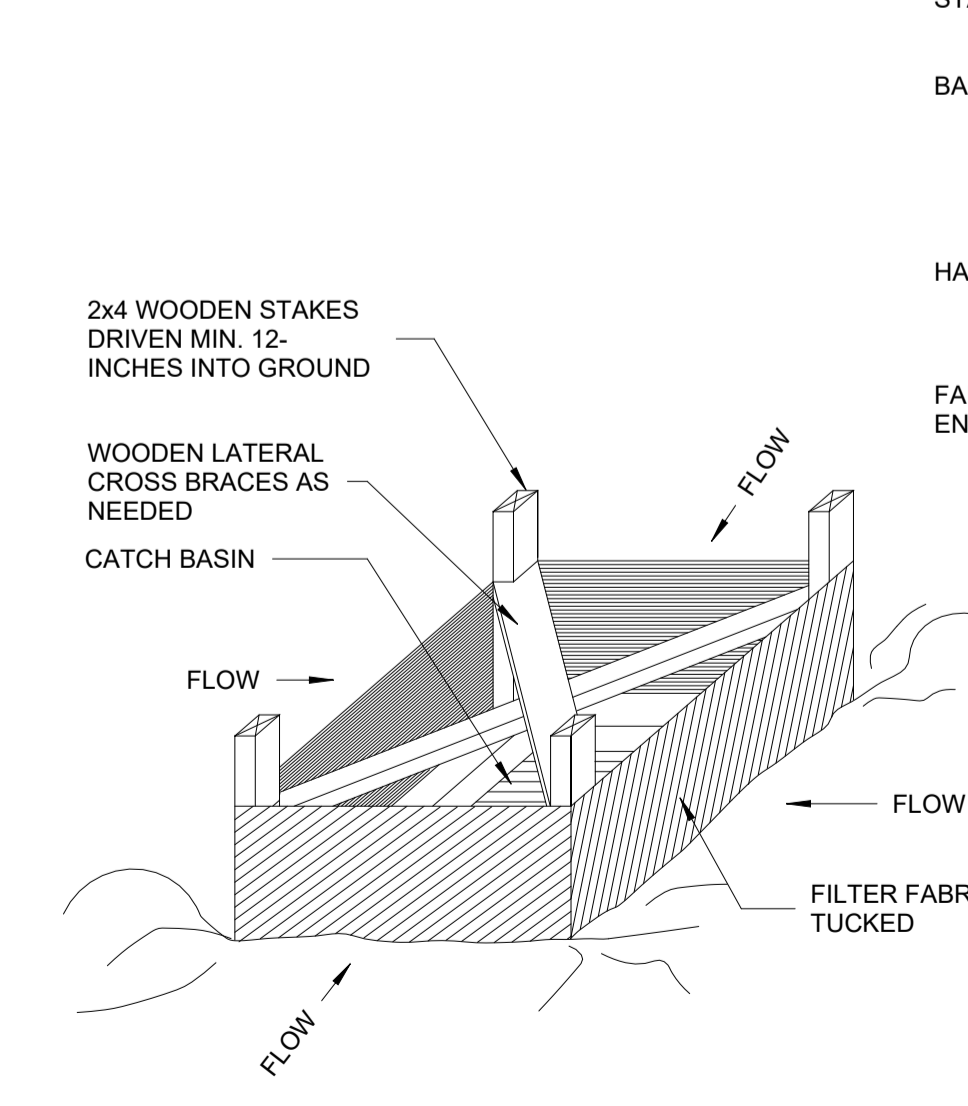
A STONE ANTI-TRACKING APRON SHALL BE INSTALLED AT THE ENTRANCE OF THE PROPERTY. IT SHALL BE FOR THE FULL LENGTH AN WIDTH SPECIFIED. THE ANTI-TRACKING APRON SHALL BE INSTALLED PRIOR TO THE START OF EXCAVATING AND/OR FILLING ON THE SITE AND SHALL BE REMOVED ONLY AFTER ALL CONSTRUCTION HAS BEEN COMPLETED AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED. ALL PAVED AREAS ADJACENT TO THE SITE SHALL BE CHECKED FOR SEDIMENT AND AS NECESSARY SHALL BE CLEAN OF ANY ACCUMULATIONS.

AT THE COMMENCEMENT OF LOT CONSTRUCTION A STONE ANTI-TRACKING APRON SHALL BE INSTALLED AT THE ENTRANCE TO EACH LOT. THE ANTI-TRACKING APRON SHALL BE INSTALLED PRIOR TO THE START OF ANY EXCAVATING AND/OR FILLING ON THE LOT AND SHALL BE REMOVED ONLY AFTER ALL CONSTRUCTION HAS BEEN COMPLETED AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.

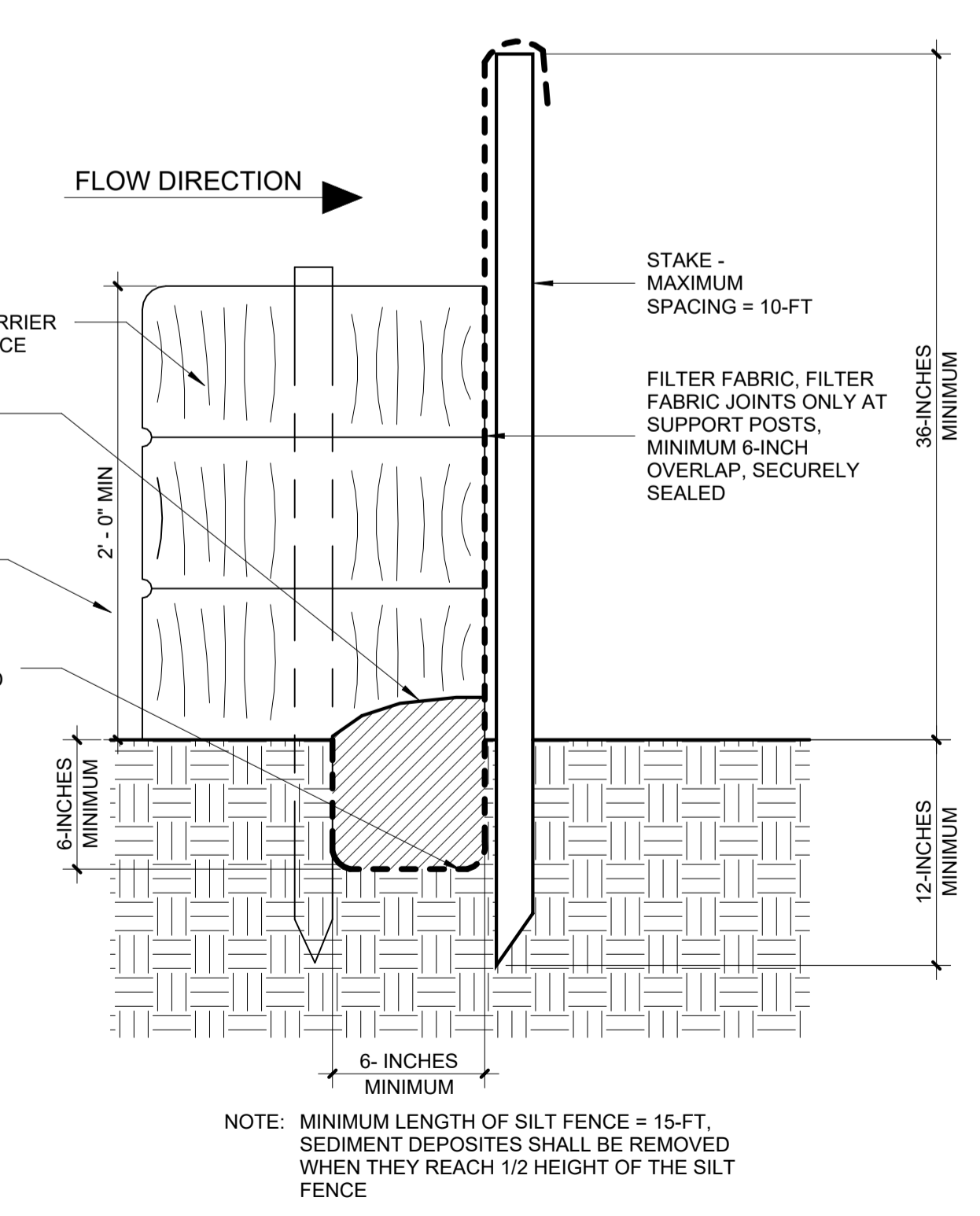
A5 ANTI-TRACKING APRON
N.T.S



A4 TREE PROTECTION FENCE
N.T.S



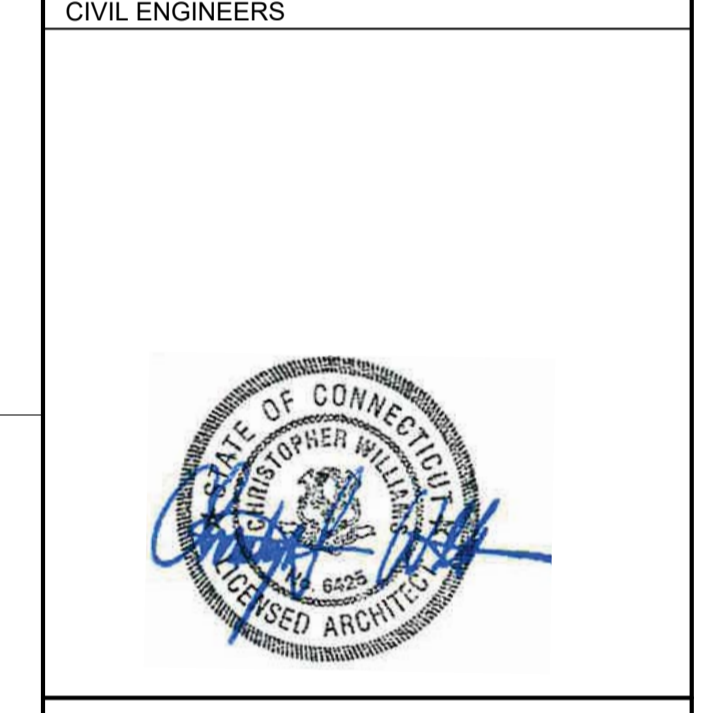
A3 C.B PROTECTION
N.T.S



A2 SILT FENCE INSTALLATION
N.T.S

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENTATION CONTROL PLAN. THIS INCLUDES THE INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE TOWN OF ANY TRANSFER OF THIS RESPONSIBILITY.
2. EXCEPT WHERE NOTED, ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL AND TOWN OF EAST HARTFORD REGULATIONS.
3. ALL CONTROL MEASURES SHALL BE INSTALLED AS PER PLAN AND DETAILS.
4. ALL CONTROL MEASURES SHALL BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS HAVE BEEN THOROUGHLY STABILIZED.
5. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE APPROVING AUTHORITY/IES.
6. THE INDICATED 'LIMIT OF DISTURBANCE' REGION SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF CLEARING SHALL REMAIN IN PRE-CONSTRUCTION CONDITION.
7. ANY CONTROL MEASURES RETAINING SEDIMENT OVER 1/2 THEIR HEIGHT SHALL HAVE THE SEDIMENT IMMEDIATELY REMOVED, AND ALL DAMAGED CONTROL MEASURES SHALL BE REMOVED AND REPLACED.
8. ALL NEW AND EXISTING CATCH BASINS LOCATED ON THE SITE SHALL BE PROTECTED BY 'SILT-SACK' (OR APPROVED EQUIVALENT) UNTIL ALL DISTURBED AREAS HAVE BEEN THOROUGHLY STABILIZED. ANY-AND-ALL SEDIMENTS FALLING INTO EXISTING OR PROPOSED DRAINAGE COMPONENTS (INLETS, PIPING, OUTFALL, ETC.) SHALL BE IMMEDIATELY REMOVED.
9. SEDIMENT REMOVED FROM CONTROL MEASURES AND DRAINAGE FACILITIES SHALL BE DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH STATE AND LOCAL REGULATIONS.
10. THE PLANTING SEASONS FOR THE SPECIFIED SEED MIXTURE SHALL BE AS DEFINED IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. UNLESS DIRECTED OTHERWISE BY THE TOWN--OTHERWISE, EXPOSED OR NON-SECURED SLOPES WILL BE PROTECTED BY USING EITHER GEOTEXTILE BLANKETS, HAY & TACKIFIER, OR BY ANY OTHER APPROVED BEST MANAGEMENT PRACTICE.
11. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE THAT NO DRAINAGE FROM TOWN ROADS ENTERS THE SITE DURING OR AFTER CONSTRUCTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL WINDBLOWN DUST AND WIND EROSION THROUGHOUT THE LIFE OF THE CONTRACT.
13. TEMPORARY STOCKPILING OF CONSTRUCTION MATERIALS SHALL ONLY BE ALLOWED IN THE LOCATIONS SHOWN ON THE PLAN(S). STOCKPILE AREAS SHALL BE FULLY ENCLOSED WITH SILT FENCE AND BE COVERED WITH TARPULIN AND HELD IN PLACE WITH GRAVEL BAGS.
14. ALL GROUNDWATER EXTRACTED DURING DEWATERING OF EXCAVATIONS SHALL BE TREATED TO ACCEPTABLE NPDES PERMIT LEVELS PRIOR TO RELEASE.
15. CONCRETE WASHOUT AND CONCRETE SPOILS ARE TO BE LIMITED TO 0.5 CUBIC YARDS (MAX.) PER TRIP - ALL CONCRETE SPOILS, IN EXCESS OF 0.5 CUBIC YARDS ARE TO BE RETURNED TO THE CONCRETE PLANT WHERE IT WAS ORDERED.
16. ALL GROUNDWATER EXTRACTED DURING DEWATERING OF EXCAVATIONS SHALL BE TREATED TO ACCEPTABLE NPDES PERMIT LEVELS PRIOR TO RELEASE.
17. CONTRACTOR TO PROVIDE TOWN WITH CONTACT INFORMATION OF THE CONTRACTOR'S AGENTS-IN-CHARGE FOR THE IMPLEMENTATION AND COMPLIANCE OF THIS EROSION CONTROL PROGRAM. A MINIMUM OF TWO NAMES, PHONE DAYTIME AND EVENING PHONE NUMBERS, SHOULD BE PROVIDED IN WRITING TO THE CITY. THE CONTRACTOR SHOULD UPDATE THE CONTACT INFORMATION IF-IN-THE-EVENT PERSONNEL CHANGES.



CONSTRUCTION DOCUMENTS

10/31/23 REVISION 1-11/10/23

MCCARTIN CENTER
70 CANTERBURY ST
EAST HARTFORD, CT 06118

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PROJECT NO:	CWA PROJECT NO.: 2311	
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CHK'D BY:	Checker	
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SHEET TITLE
SITE DETAILS

SURVEY NOTES

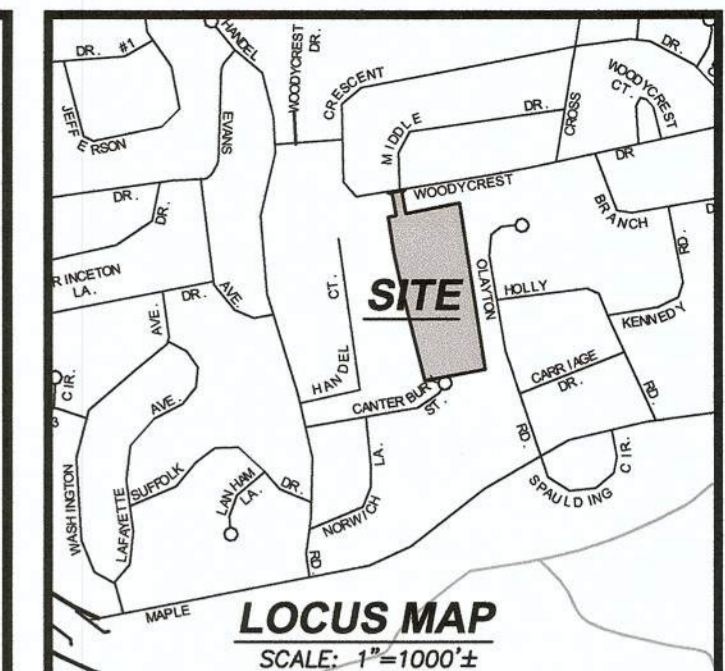
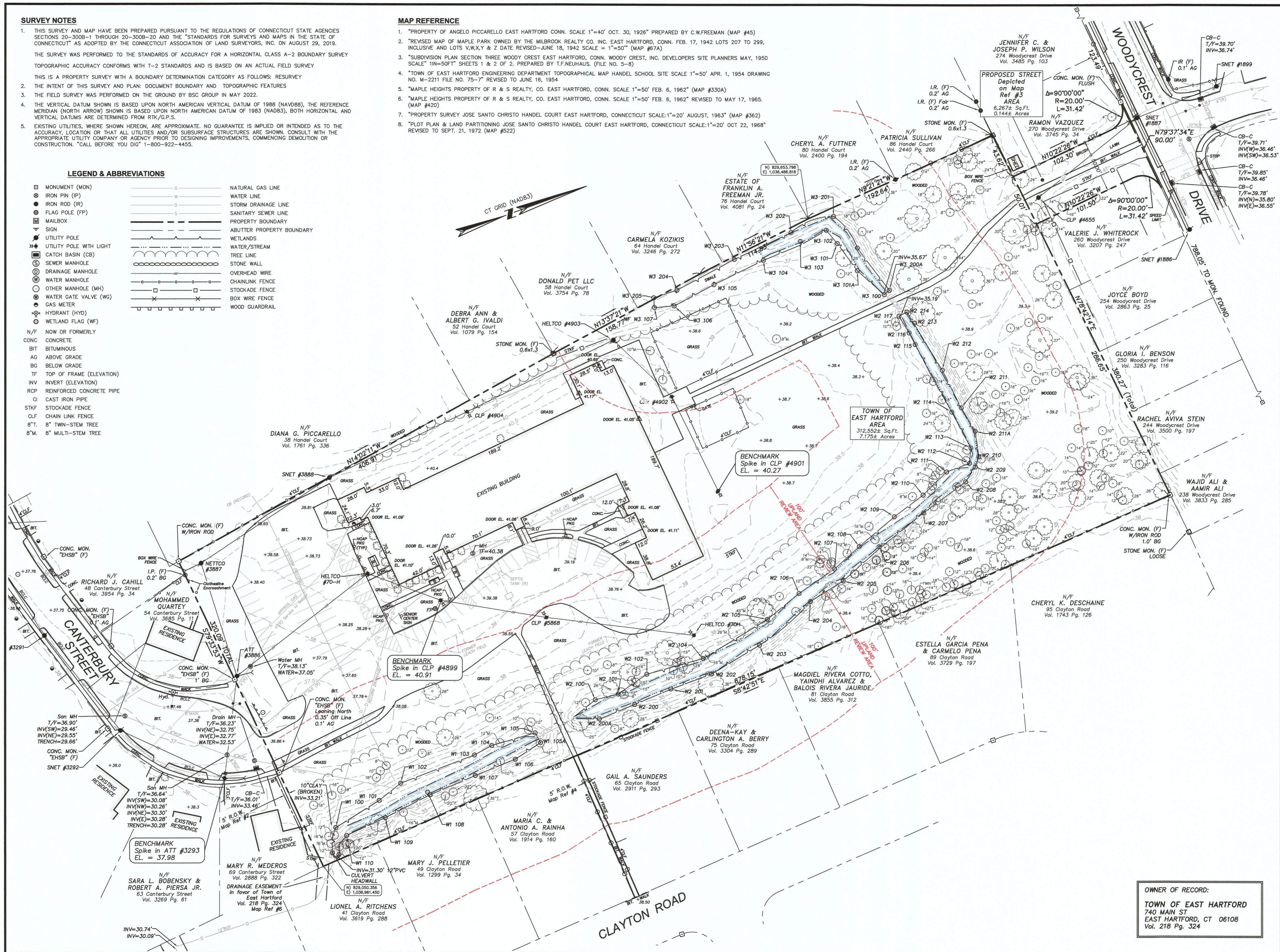
- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019. THE SURVEY WAS PERFORMED TO THE STANDARDS OF ACCURACY FOR A HORIZONTAL CLASS A-2 BOUNDARY SURVEY TOPOGRAPHIC ACCURACY CONFORMS WITH T-2 STANDARDS AND IS BASED ON AN ACTUAL FIELD SURVEY. THIS IS A PROPERTY SURVEY WITH A BOUNDARY DETERMINATION CATEGORY AS FOLLOWS: RESURVEY.
- THE INTENT OF THIS SURVEY AND PLAN: DOCUMENT BOUNDARY AND TOPOGRAPHIC FEATURES.
- THE FIELD SURVEY WAS PERFORMED ON THE GROUND BY BSC GROUP IN MAY 2022.
- THE VERTICAL DATUM SHOWN IS BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), THE REFERENCE MERIDIAN (NORTH ARROW) SHOWN IS BASED UPON NORTH AMERICAN DATUM OF 1983 (NAD83), BOTH HORIZONTAL AND VERTICAL DATUMS ARE DETERMINED FROM RTK/G.P.S.
- EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. CONSULT WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO DESIGNING IMPROVEMENTS, COMMENCING DEMOLITION OR CONSTRUCTION. "CALL BEFORE YOU DIG" 1-800-922-4455.

LEGEND & ABBREVIATIONS

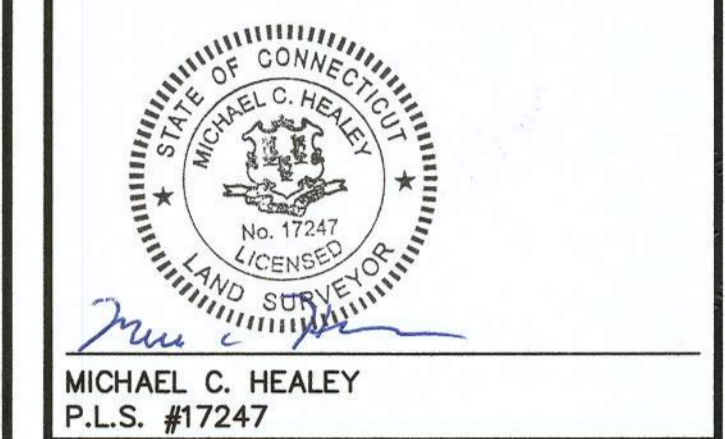
- | | | |
|--|--|---|
| <ul style="list-style-type: none"> MONUMENT (MON) IRON PIN (IP) IRON ROD (IR) FLAG POLE (FP) MAILBOX SIGN UTILITY POLE UTILITY POLE WITH LIGHT CATCH BASIN (CB) SEWER MANHOLE DRAINAGE MANHOLE WATER MANHOLE OTHER MANHOLE (MH) WATER GATE VALVE (WG) GAS METER HYDRANT (HYD) WETLAND FLAG (WF) | <ul style="list-style-type: none"> N/F NOW OR FORMERLY CONC CONCRETE BIT BITUMINOUS AG ABOVE GRADE BG BELOW GRADE TF TOP OF FRAME (ELEVATION) INV INVERT (ELEVATION) ROP REINFORCED CONCRETE PIPE CI CAST IRON PIPE STKF STOCKADE FENCE CLF CHAIN LINK FENCE 8" 8" TWIN-STEM TREE 8" 8" MULTI-STEM TREE | <ul style="list-style-type: none"> NATURAL GAS LINE WATER LINE STORM DRAINAGE LINE SANITARY SEWER LINE PROPERTY BOUNDARY ABUTTER PROPERTY BOUNDARY WETLANDS WATER/STREAM TREE LINE STONE WALL OVERHEAD WIRE CHAINLINK FENCE STOCKADE FENCE BOX WIRE FENCE WOOD GUARDRAIL |
|--|--|---|

MAP REFERENCE

- "PROPERTY OF ANGELO PICCARELLO EAST HARTFORD CONN. SCALE 1"=40' OCT. 30, 1926" PREPARED BY C.W.FREEMAN (MAP #45)
- "REVISED MAP OF MAPLE PARK OWNED BY THE MILBROOK REALTY CO. INC. EAST HARTFORD, CONN. FEB. 17, 1942 LOTS 207 TO 239, INCLUSIVE AND LOTS V,W,X,Y & Z DATE REVISED-JUNE 18, 1942 SCALE = 1"=50" (MAP #67A)
- "SUBDIVISION PLAN SECTION THREE WOODY CREST EAST HARTFORD, CONN. WOODY CREST, INC. DEVELOPERS SITE PLANNERS MAY, 1950 SCALE" 1"IN=50FT" SHEETS 1 & 2 OF 2. PREPARED BY T.F.NEUHAUS. (FILE NO. 5-8)
- "TOWN OF EAST HARTFORD ENGINEERING DEPARTMENT TOPOGRAPHICAL MAP HANDEL SCHOOL SITE SCALE 1"=50' APR. 1, 1954 DRAWING NO. M-2211 FILE NO. 75-7" REVISED TO JUNE 16, 1954
- "MAPLE HEIGHTS PROPERTY OF R & S REALTY, CO. EAST HARTFORD, CONN. SCALE 1"=50' FEB. 6, 1962" (MAP #330A)
- "MAPLE HEIGHTS PROPERTY OF R & S REALTY, CO. EAST HARTFORD, CONN. SCALE 1"=50' FEB. 6, 1962" REVISED TO MAY 17, 1965. (MAP #420)
- "PROPERTY SURVEY JOSE SANTO CRISTO HANDEL COURT EAST HARTFORD, CONNECTICUT SCALE: 1"=20' AUGUST, 1963" (MAP #362)
- "PLOT PLAN & LAND PARTITIONING JOSE SANTO CRISTO HANDEL COURT EAST HARTFORD, CONNECTICUT SCALE: 1"=20' OCT 22, 1968" REVISED TO SEPT. 21, 1972 (MAP #522)



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY IS NOT VALID UNLESS IT CONTAINS THE LIVE SIGNATURE AND EMBOSSED SEAL CONTAINED HEREON. SUBSEQUENT REVISIONS TO THIS PLAN OTHER THAN BY THE ORIGINAL SURVEYOR EFFECTUALLY VOID THIS CERTIFICATION.



TOWN OF EAST HARTFORD

70 CANTERBURY STREET

EAST HARTFORD CONNECTICUT

TOPOGRAPHIC & BOUNDARY SURVEY

MAY 25, 2022

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
TOWN OF EAST HARTFORD
740 MAIN STREET
EAST HARTFORD, CT 06108

BSC GROUP

655 Winding Brook Drive
Glastonbury, Connecticut
06033

860 652 8227

© 2022 BSC Group, Inc.

SCALE: 1" = 40'

0 20 40 80 FEET

FILE: P:\8379903\SURVEY\DRAWINGS

DWG: 8379903.DWG

JOB. NO: 83799.03

SHEET 1 OF 1

OWNER OF RECORD:
TOWN OF EAST HARTFORD
740 MAIN ST
EAST HARTFORD, CT 06108
Vol. 218 Pg. 324

KEYNOTES	
C5.02	TYPICAL CLASSROOM PARTITIONS 8" CMU

OWNER

CRDA | Capital Region
Development Authority



ARCHITECT



CHRISTOPHER WILLIAMS ARCHITECTS, LLC
85 Willow Street New Haven, CT 06511
203 776 0184 www.cwarchitectsllc.com

ENGINEERS

CIVIL ENGINEERS



CONSTRUCTION DOCUMENTS

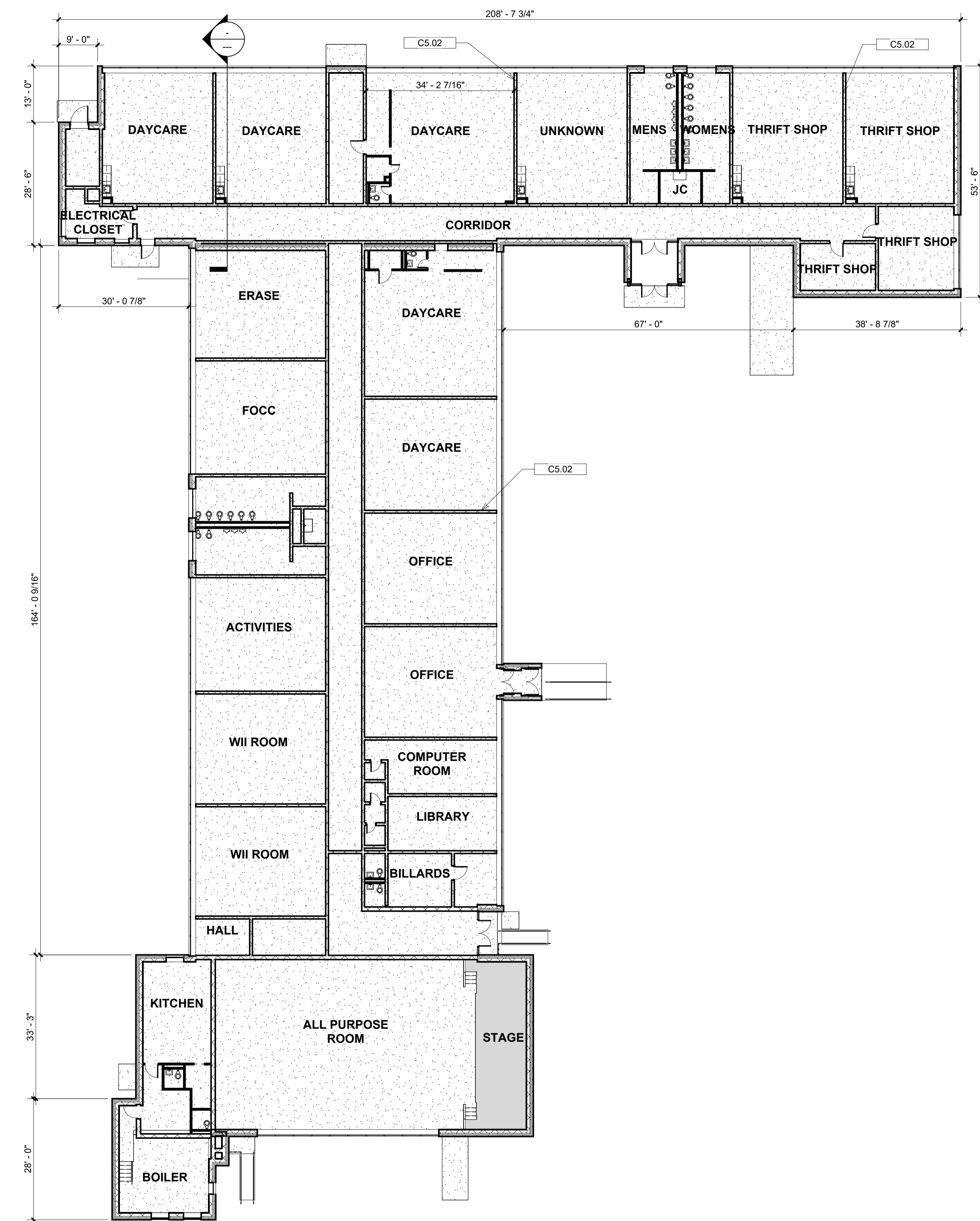
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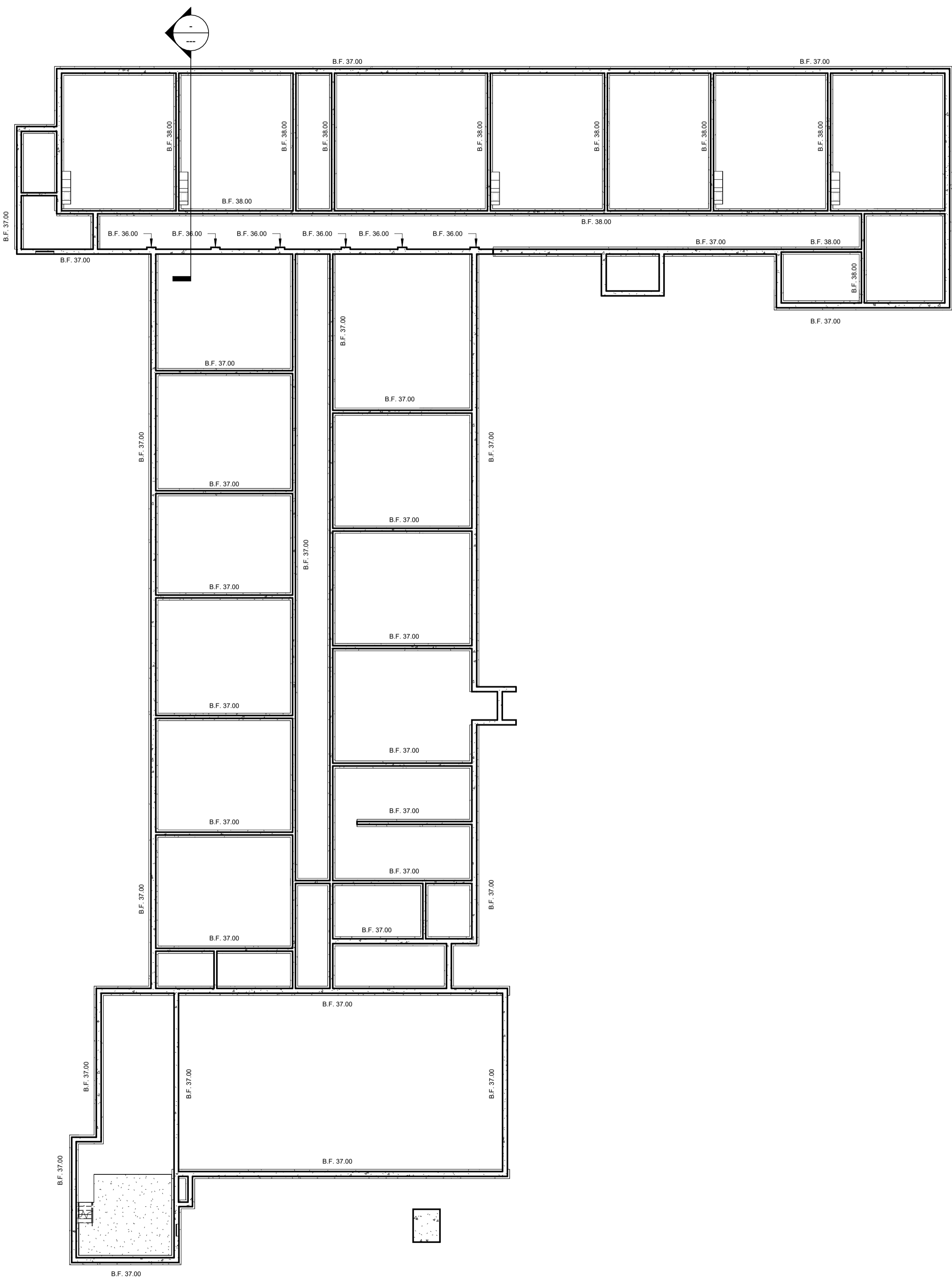
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SHEET TITLE
EXISTING FIRST AND
FOUNDATION PLAN

AD101

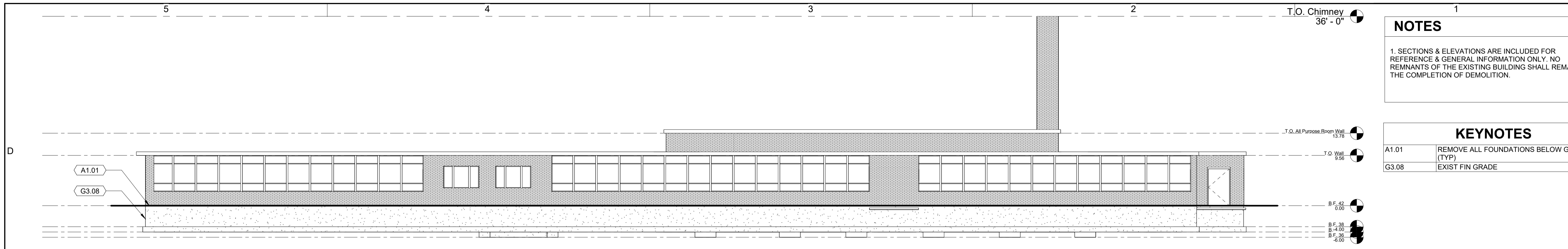


A5 FIRST FLR PLAN
1/16" = 1'-0"

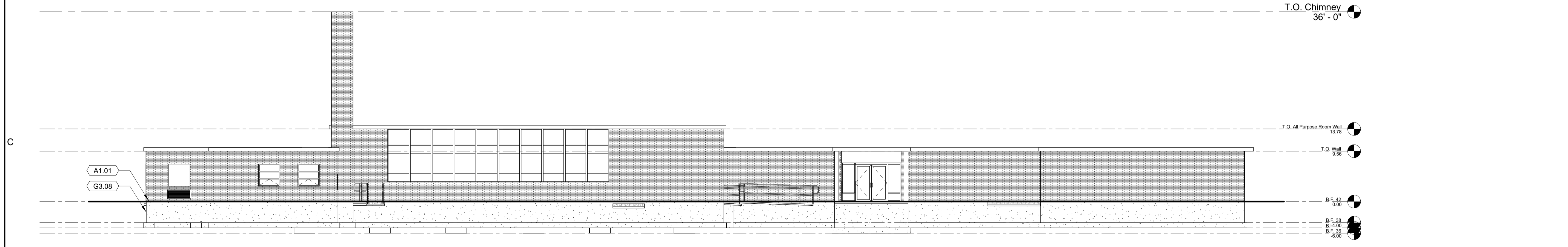


A3 FOUNDATION PLAN
1/16" = 1'-0"

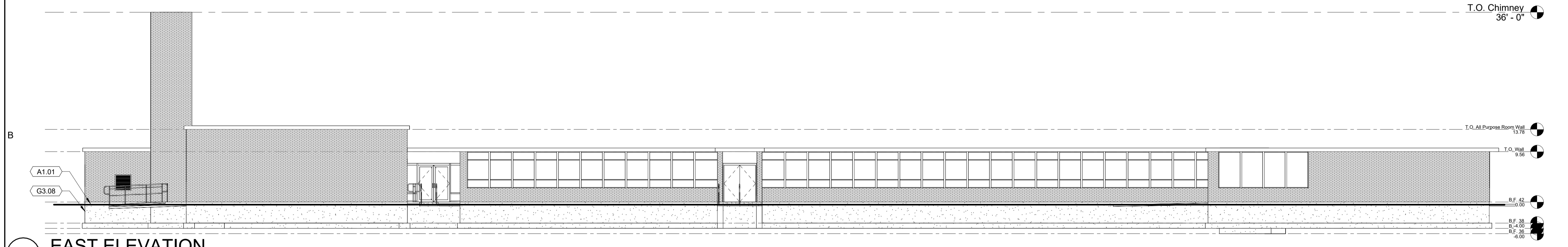




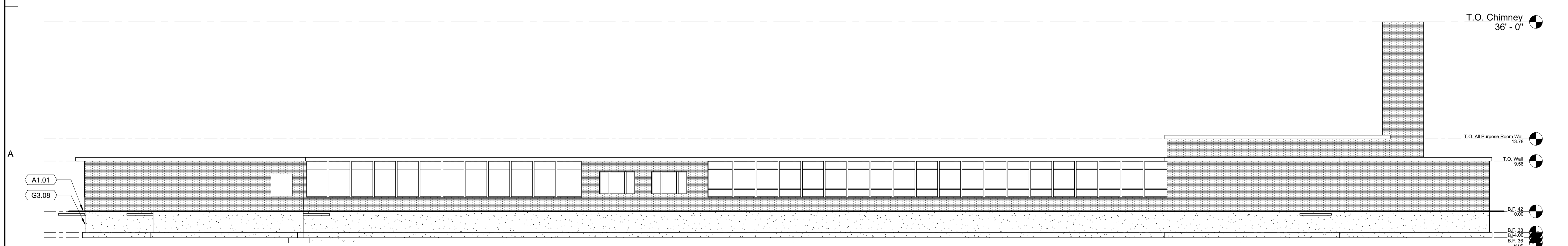
D5 NORTH ELEVATION
1" = 10'-0"



C5 SOUTH ELEVATION
1" = 10'-0"



B5 EAST ELEVATION
1" = 10'-0"



A5 WEST ELEVATION
1" = 10'-0"

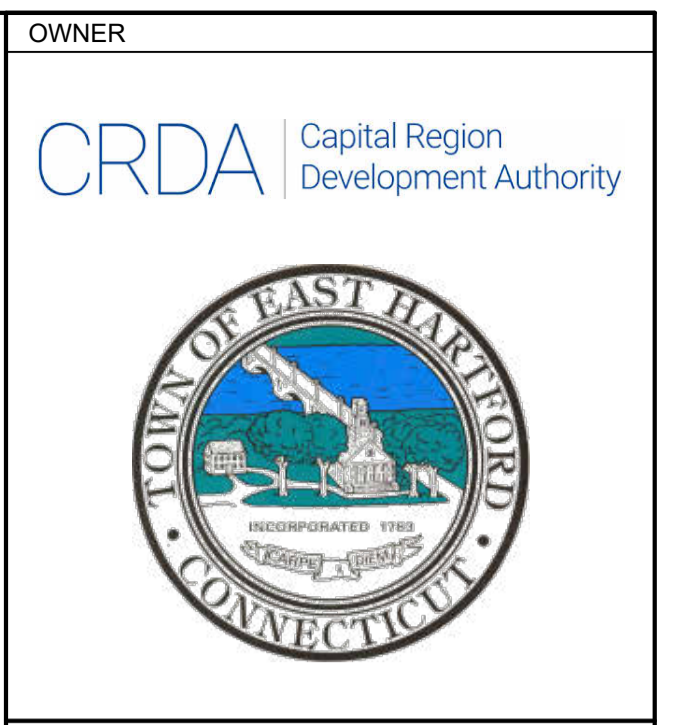
NOTES

1. SECTIONS & ELEVATIONS ARE INCLUDED FOR REFERENCE & GENERAL INFORMATION ONLY. NO REMNANTS OF THE EXISTING BUILDING SHALL REMAIN AT THE COMPLETION OF DEMOLITION.

KEYNOTES

A1.01 REMOVE ALL FOUNDATIONS BELOW GRADE (TYP)

G3.08 EXIST FIN GRADE



ENGINEERS



CONSTRUCTION DOCUMENTS

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MCCARTIN CENTER

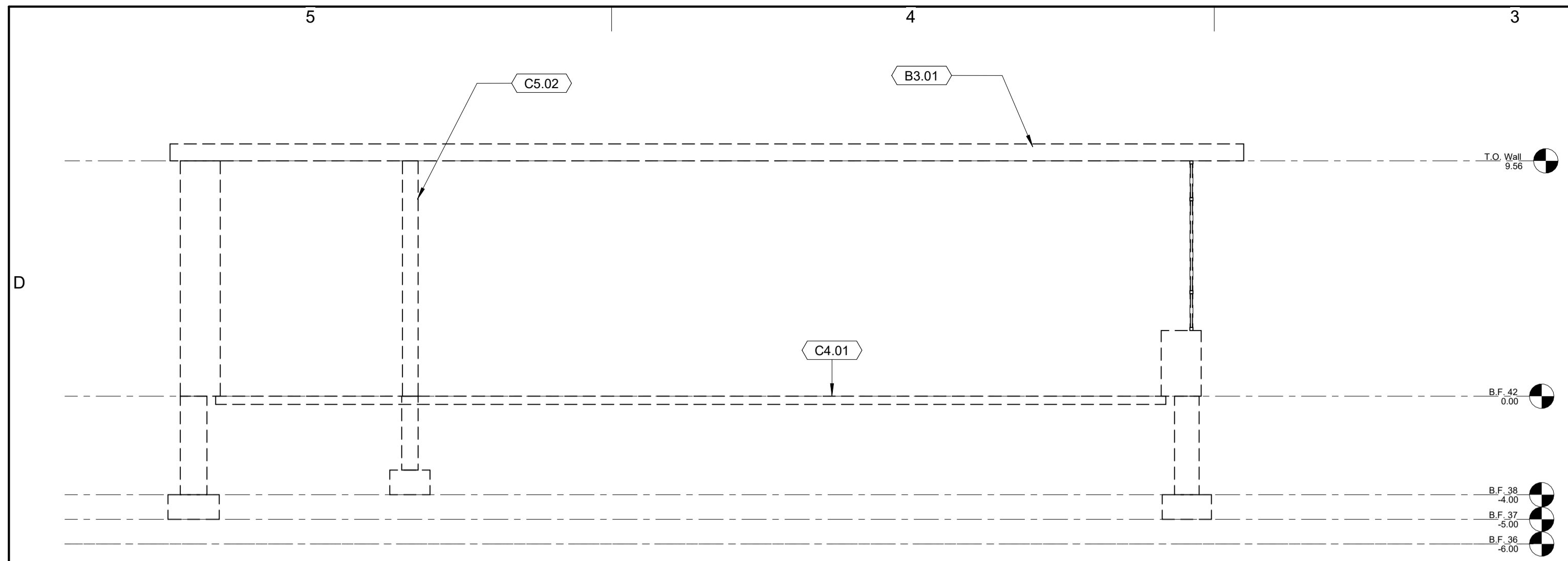
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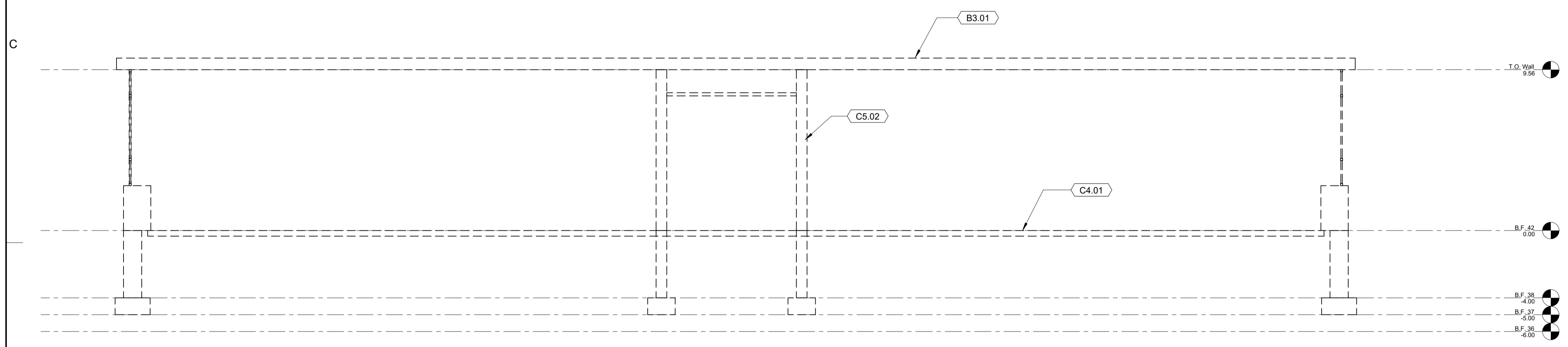
SHEET TITLE

ELEVATION

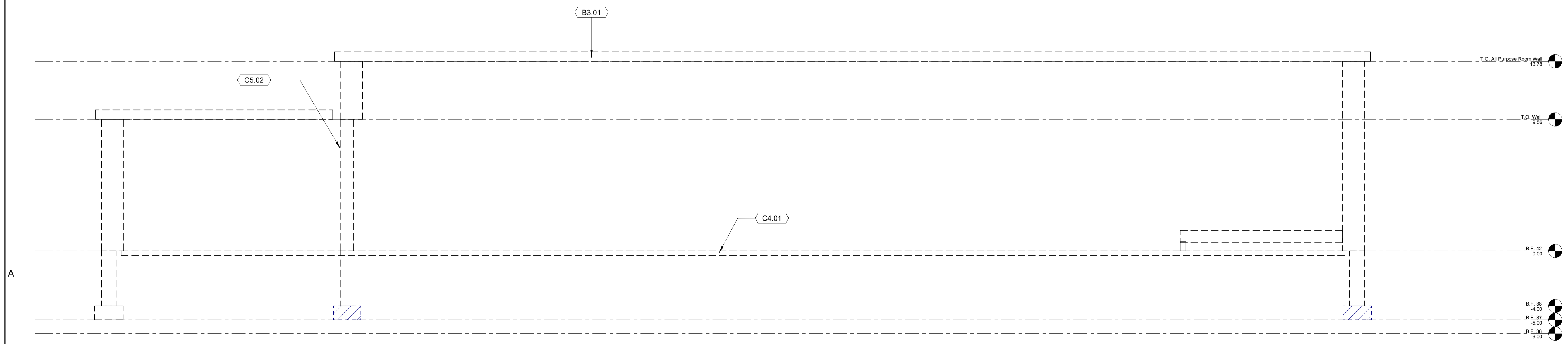
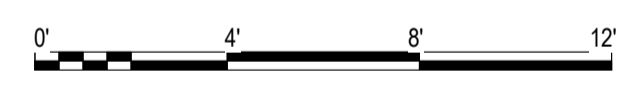
AD201



C4 EAST SECTION
1/4" = 1'-0"



B5 NORTH SECTION
1/4" = 1'-0"

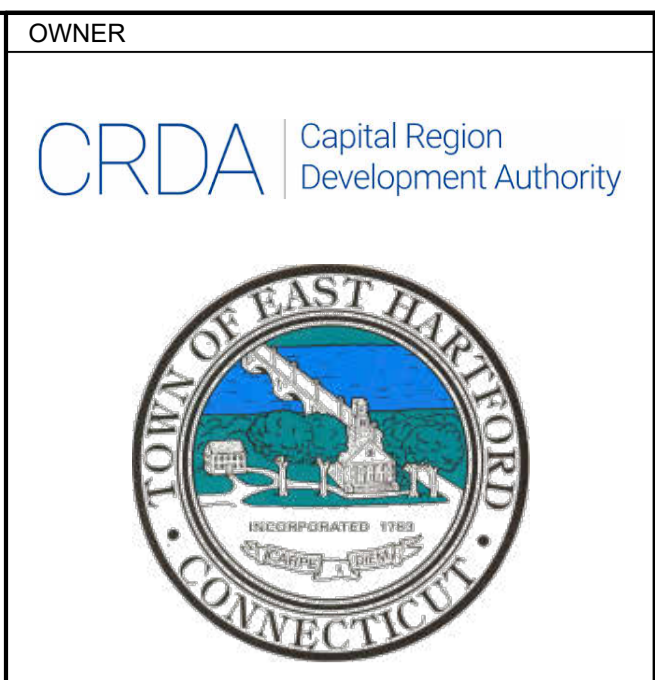


A5 TYP SECTION THROUGH ALL PURPOSE RM
1/4" = 1'-0"



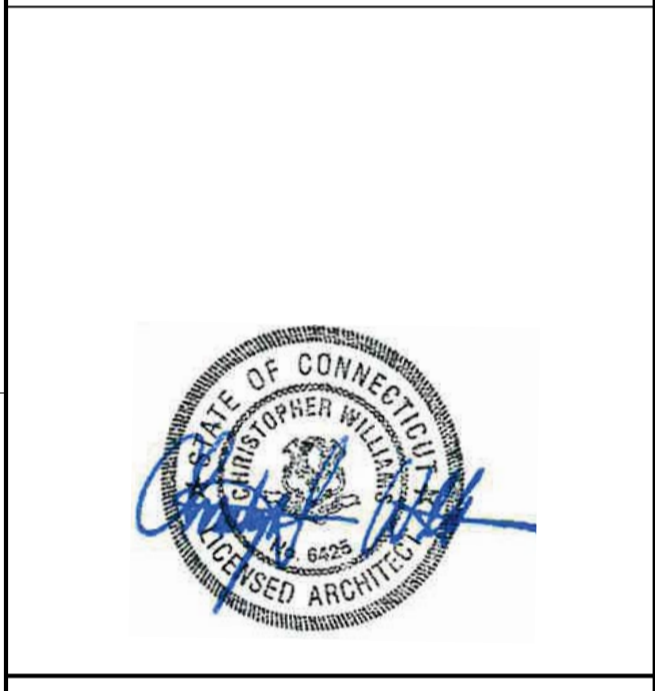
KEYNOTES	
B3.01	TYPICAL ROOF STRUCT-OPEN WEB BAR JOIST W/ PLANK ROOF DECK
C4.01	TYPICAL FLR 4-5" CONC SLAB ON CRUSHED STONE BASE
C5.02	TYPICAL CLASSROOM PARTITIONS 8" CMU

NOTES	
1. THESE SECTIONS ARE INCLUDED FOR REFERENCE & GENERAL INFORMATION ONLY. NO REMNANTS OF THE EXISTING BUILDING SHALL REMAIN AT THE COMPLETION OF DEMOLITION.	



ENGINEERS

CIVIL ENGINEERS



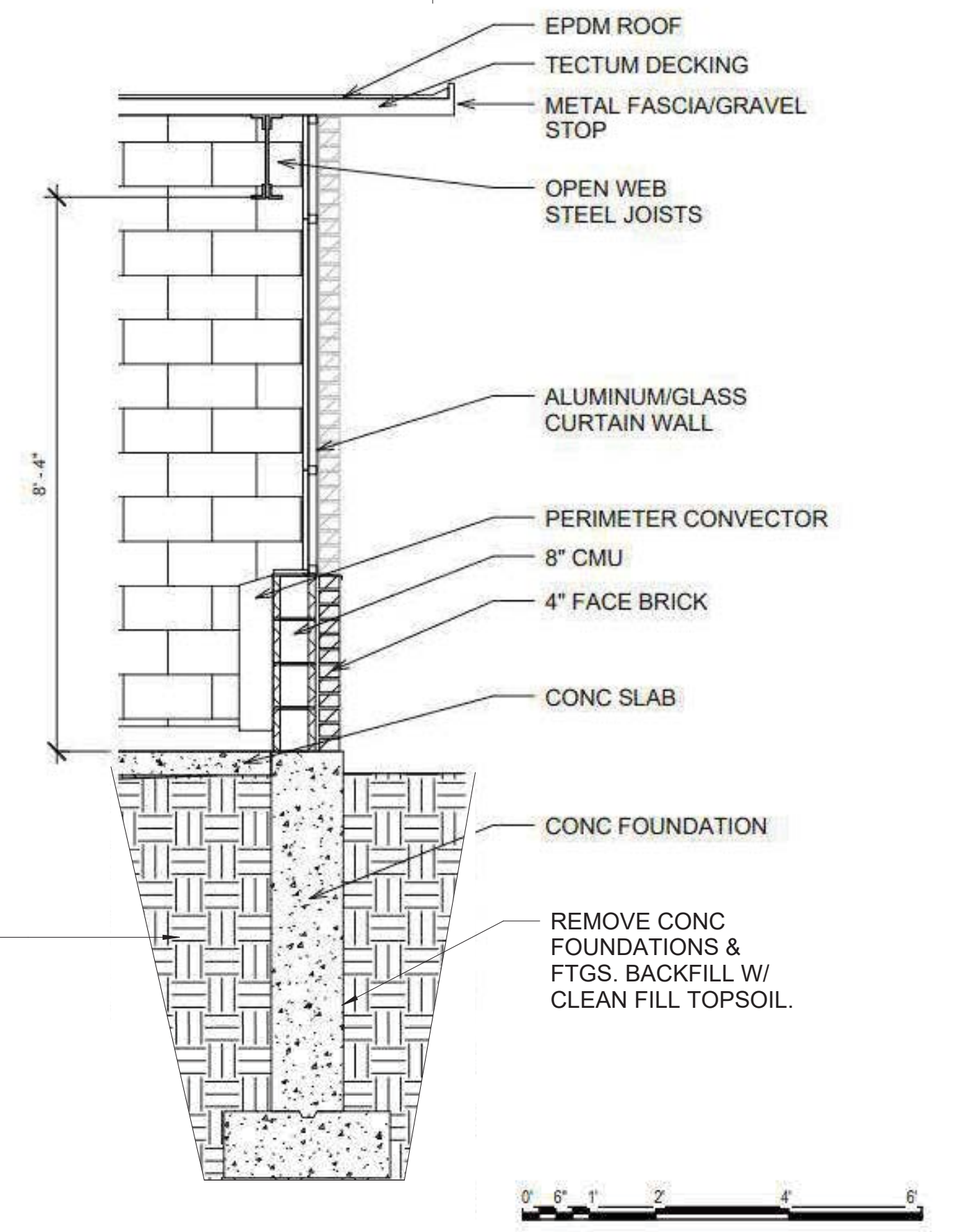
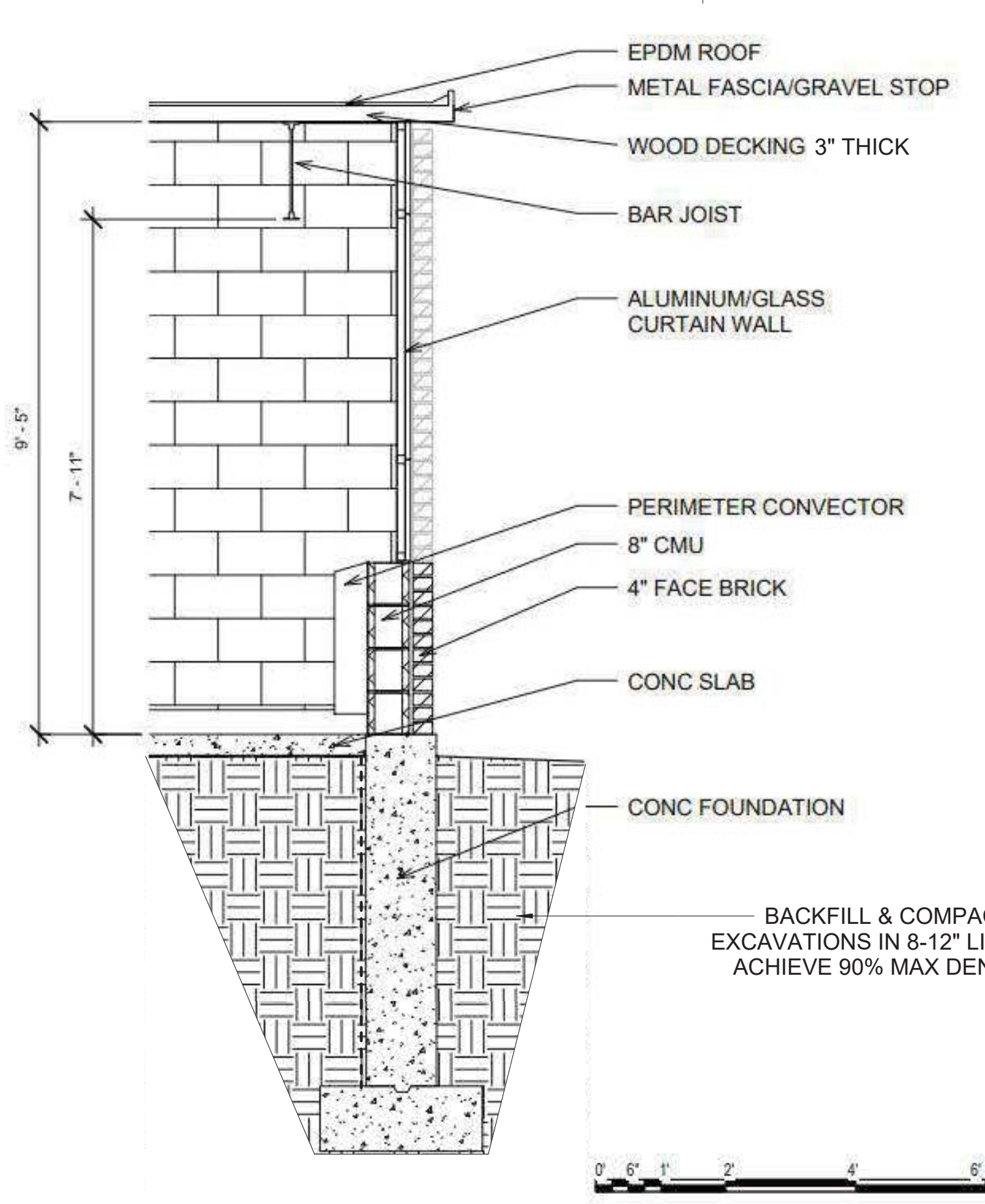
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EAST HARTFORD, CT 06118

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SHEET TITLE
EXISTING BLDG SECTIONS

AD202

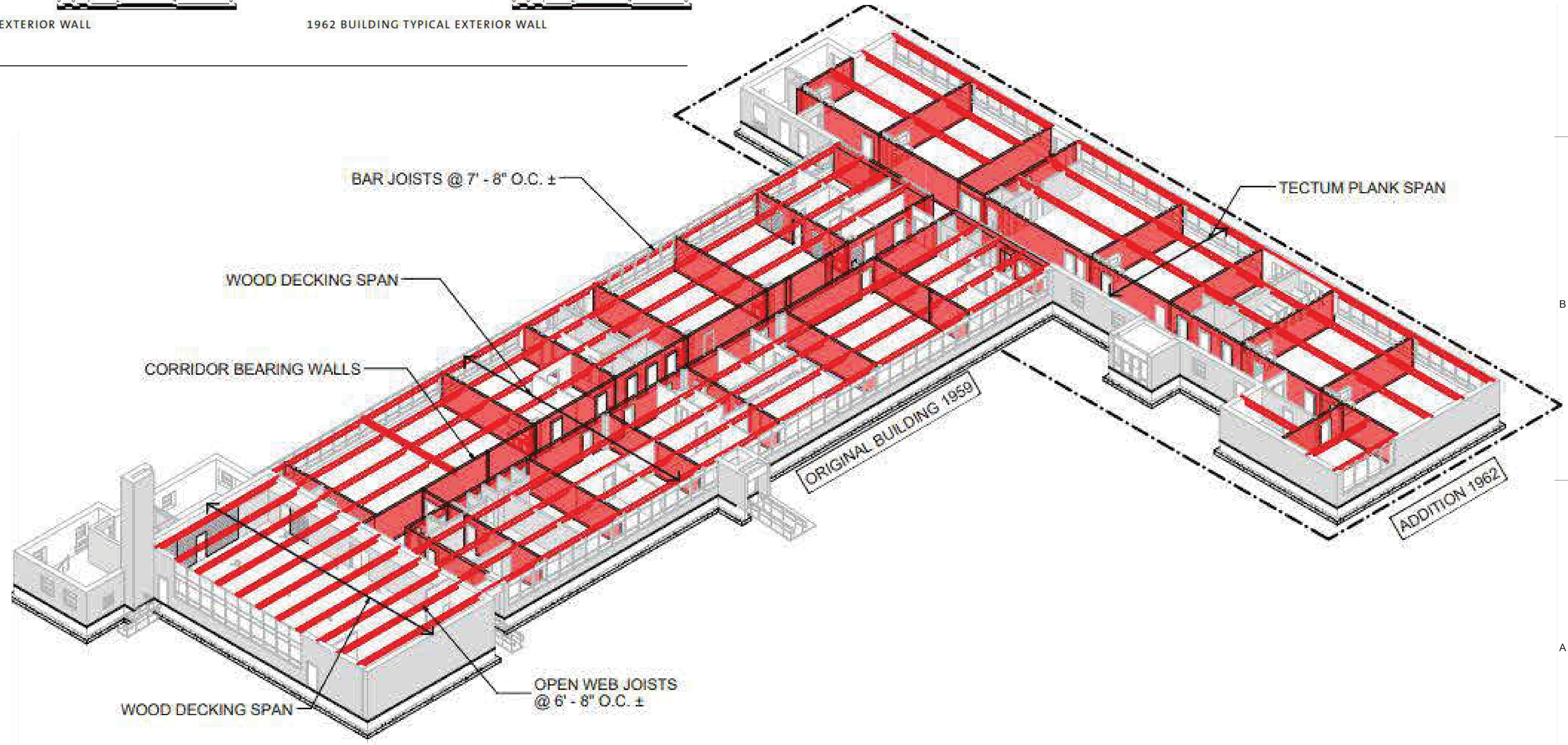


NOTES:
 WALL SECTIONS ARE INCLUDED FOR REFERENCE & GENERAL INFORMATION. NO REMNANT OF THE EXISTING BUILDING SHALL REMAIN AT THE COMPLETION OF DEMOLITION.

1959 BUILDING TYPICAL EXTERIOR WALL

1962 BUILDING TYPICAL EXTERIOR WALL

C5 WALL SECTIONS
 1/2" = 1'-0"



A5 STRUCTURAL AXON
 NTS

OWNER
 CRDA | Capital Region
 Development Authority



ARCHITECT
CWA
 CHRISTOPHER WILLIAMS ARCHITECTS, LLC
 85 Willow Street New Haven, CT 06511
 203 776 0184 www.cwarchitectsllc.com

ENGINEERS

CIVIL ENGINEERS



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SHEET TITLE
WALL SECTIONS & STRUCT AXON

AD401